

SITE LOCATION MAP N.T.S.

ROOSEVELT ISLAND OPERATING CORPORATION

100% CONSTRUCTION DOCUMENT FOR  
**LIGHTHOUSE TOWER PLAZA  
REPAVING PROJECT**

AT NORTHERN END OF ROOSEVELT ISLAND,  
ROOSEVELT ISLAND, NY  
02/12/2021

LIST OF DRAWINGS

			<u>ADD ALTERNATE LIST</u>	STANTEC CONSULTING SERVICES INC.
1	T-001.00	TITLE SHEET	ADD ALTERNATE 1 - EXPOSED AGGREGATE CONCRETE PAVEMENT	LANDSCAPE ARCHITECTURE
2	G-001.00	GENERAL NOTES		
3	V-101.00	EXISTING CONDITIONS		
4	R-101.00	SITE PREP AND DEMO		
5	L-201.00	MATERIALS AND LAYOUT PLAN		
6	L-202.00	GRADING PLAN		
7	L-203.00	SITE DETAILS		



GENERAL NOTES:

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.

1. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND / OR BUILDING.
2. THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR THE REQUIRED CONSTRUCTION PERMIT(S), FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
3. APPLICATION FOR CONSTRUCTION PERMITS SHALL BE PROCESSED THROUGH THE BUILDING CODE COMPLIANCE DIVISION OF THE AUTHORITY.
4. COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK / PROJECT.
5. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK AND / OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
7. ALL ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS ESTABLISHED AND MAINTAINED BY NATIONAL GEODETIC SURVEY OF THE NATIONAL OCEAN SERVICE, NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION OR SUCCESSOR AGENCY.
8. WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.
9. ADDITIONAL NOTES THAT ARE APPLICABLE TO THIS PROJECT MAY BE FOUND THROUGHOUT THE CONTRACT DRAWINGS.
10. THE CONTRACTOR SHALL REFER TO ALL APPLICABLE AGENCY STANDARD DETAILS.
11. IT IS MANDATORY , AS PER NYS INDUSTRIAL CODE RULE 53, FOR THE CONTRACTOR TO NOTIFY NEW YORK 811 AT LEAST FORTY-EIGHT (48) HOURS BEFORE COMMENCING EXCAVATION. THE EMAIL ADDRESS IS EMAIL@NEWYORK811INC.COM AND THE WEB SITE IS [HTTP://NEWYORK-811.COM](http://NEWYORK-811.COM).

REMOVAL NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS, BOTH ABOVE AND BELOW THE SURFACE, PRIOR TO COMMENCING WORK. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S RESIDENT IN WRITING PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THIS WORK. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH APPLICABLE AGENCIES, UTILITY COMPANIES, AND / OR SUB-CONTRACTORS.
3. IT IS MANDATORY, AS PER NYS INDUSTRIAL CODE RULE 53, FOR THE CONTRACTOR TO NOTIFY THE NEW YORK CITY / LONG ISLAND ONE-CALL CENTER, 36-35 BELL BOULEVARD, SUITE 202, BAYSIDE, NY 11361, TEL 800.272.448 IN ADDITION TO ALL UNDERGROUND FACILITY OPERATORS IN THE AREA WHO ARE NOT ONE-CALL MEMBERS, NOT LESS THAN TWO (2) FULL BUSINESS DAYS AND NOT MORE THAN TEN (10) FULL BUSINESS DAYS BEFORE COMMENCING EXCAVATION. THE ONE-CALL CENTER IS ALWAYS OPEN. THE ONE-CALL CENTER WILL THEN NOTIFY MEMBER FIRMS WITH OPERATIONS IN THE SITE AREA OF THE CONTRACTOR'S PENDING EXCAVATION OPERATIONS. THE CONTRACTOR WILL RECEIVE A NOTIFICATION TICKET FROM THE ONE-CALL CENTER WHICH SHOULD BE PRESENTED TO THE OWNER'S REPRESENTATIVE AS PROOF OF THE CALL. THERE IS NO CHARGE FOR THIS SERVICE. THIS PROCESS ENSURES THAT UTILITY SERVICE LINES ARE PROPERLY MARKED PRIOR TO EXCAVATION TO MINIMIZE FACILITY DAMAGE, ON THE JOB INJURIES, AND CONTRACTOR'S LIABILITY.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE AND / OR RESTORE ANY INTERRUPTION TO ANY UTILITY SERVICE THAT MAY BE CAUSED BY THE CONTRACTOR'S CONSTRUCTION OR EQUIPMENT, AT THE CONTRACTOR'S EXPENSE, WITH NO ADDITIONAL EXPENSE TO RIOC.
5. THE CONTRACTOR IS TO USE CARE DURING CONSTRUCTION TO AVOID DISTURBING OR DAMAGING ADJACENT ABOVE-GRADE OR SUBGRADE STRUCTURES, FACILITIES, CURBS, PAVEMENTS, AND PERIMETER FENCING. ANY DAMAGE RESULTING FROM THIS WORK WILL BE RESTORED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
6. WHERE NEW CONSTRUCTION ABUTS EXISTING PAVEMENTS, CURBS, OR WALLS, THE EXISTING MATERIALS SHALL BE CLEANLY SAWCUT TO PROVIDE A CLEAN, NEAT MATCH AND A SMOOTH, FLUSH TRANSITION, AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ALL SAWCUTTING SHALL BE DONE TO NEAT, STRAIGHT, AND ACCURATE LINES. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS (TIE ROD AND / OR SLIP JOINT) WHERE OLD AND NEW CURBS MEET.
7. THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT THE ROOT SYSTEMS OF EXISTING TREES. BULK MATERIAL, EQUIPMENT, OR VEHICLES SHALL NOT BE STOCKPILED OR PARKED WITHIN THE DRIPLINE OF ANY TREE.
8. THE CONTRACTOR SHALL DISPOSE OF ALL ITEMS AND MATERIALS REMOVED AND NOT SALVAGED, INCLUDING ALL EXCAVATED MATERIAL, OFF-SITE AND IN A LEGAL MANNER.
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO COMMENCING WORK.
10. REMOVE AND STOCKPILE EXISTING PAVERS FOR REUSE. CONTRACTOR TO COORDINATE PAVER STOCKPILE LOCATION WITH OWNER'S REPRESENTATIVE.
11. CONTRACTOR SHALL CONFIRM EXAMPLE PAVERS TO BE STOCKPILED AND PAVERS TO BE DISPOSED OF WITH OWNER'S REPRESENTATIVE. PAVERS TO BE STOCKPILED SHALL BE FULL UNITS WITH NO CHIPS, CRACKS, SPALLS OR CUT PIECES, AND BE CLEANED OF DEBRIS. ALL EXISTING CUT PIECES AND OTHERWISE DAMAGED PIECES SHALL BE REMOVED AND DISPOSED.
12. ALL STOCKPILED PAVERS SHALL BE STORED ON PALLETS ELEVATED OFF THE GROUND.
13. REMOVE AND DISPOSE OF EXISTING AGGREGATE SUBBASE.
14. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIALS AND DEBRIS SHALL BE DISPOSED OF LEGALLY IN ACCORDANCE WITH LOCAL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
15. THE CONTRACTOR SHALL REMOVE, EXCAVATE, AND DISPOSE OF ALL MATERIALS ACCORDING TO

CONTRACT SPECIFICATIONS.

16. THERE ARE HISTORIC ELEMENTS ON SITE SUCH AS STONE BOLLARDS THAT NEED TO BE REMOVED, STOCKPILED, PROTECTED AND RESET.

LAYOUT & MATERIAL NOTES

1. NO CHANGES SHALL BE MADE TO THE DESIGN OR LAYOUT WITHOUT THE WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE. LAYOUT THE WORK AS DIMENSIONED ON THE PLANS. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE DISTANCES.
2. CONTRACTOR SHALL LAYOUT IN THE FIELD THE ALIGNMENT AT ALL PATHS, PAVEMENTS AND CURBLINES FOR REVIEW BY THE OWNER'S REPRESENTATIVE. ADJUSTMENTS MAY BE MADE ONLY AS DIRECTED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR MAY NOT PROCEED WITH CONSTRUCTION OF IMPROVEMENTS UNTIL HE HAS RECEIVED THE FINAL APPROVAL OF THE LAYOUT FROM THE OWNER'S REPRESENTATIVE.
3. ALL NEW PAVEMENTS AND CURBS AND EXISTING PAVEMENTS AND CURBS TO REMAIN SHALL MEET IN SMOOTH FLUSH CONDITION UNLESS NOTED OTHERWISE.
4. NEW CURBS, WALLS, AND PAVEMENTS SHALL BE BUILT TO A SMOOTH EVEN FINISH WITH A CONSISTENT TOP AND PROFILE WITHOUT WAVES OR IRREGULARITIES. ANY WORK NOT MEETING THIS QUALITY STANDARD SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL EXERCISE CARE DURING EXCAVATION OPERATIONS TO AVOID DISTURBING ADJACENT FACILITIES, SUB GRADE STRUCTURES AND TREES. ALL DAMAGE RESULTING FROM THE CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REPAIRED AT NO EXPENSE TO RIOC. ALL REPAIR WORK SHALL BE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

LANDSCAPE PROTECTION NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL SITE CONDITIONS, BOTH ABOVE AND BELOW THE SURFACE, PRIOR TO COMMENCING WORK. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IN WRITING, PRIOR TO THE COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL EXISTING PLANT MATERIAL AND LAWNS THAT ARE TO BE RETAINED WITHIN CONTRACT LIMIT LINE.

DRAINAGE WORK NOTES:

1. CONTRACTOR SHALL PROVIDE TEMPORARY MEANS (PIPES, PUMPS, ETC.) TO DRAIN ANY STORM WATER WHICH MAY DEVELOP WITHIN THE PROJECT LIMITS FOR THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL SUBMIT A DRAINAGE SCHEME WHICH MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE, PRIOR TO THE START OF EACH CONSTRUCTION STAGE. COST OF THIS WORK WILL BE DEEMED TO HAVE BEEN INCLUDED IN THE PRICE BID FOR ALL SCHEDULED ITEMS.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- A. GENERAL
1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IN INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTIONS IS ESTABLISHED. CONTRACTOR SHALL COMPLY WITH ALL PHASE II STORM WATER REQUIREMENTS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN THE STATE OF NEW YORK.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.
4. ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE LOCATED IN THE FIELD AS REQUIRED OR AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACT DRAWINGS ARE NOT INTENDED TO SHOW THE LOCATION AND DETAILS FOR ALL SUCH DEVICES BUT ARE TO BE USED AS A REASONABLE GUIDE.
5. ALL SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE, AND MAINTAINED THROUGHOUT THE PROJECT.
6. DEMOLITION ACTIVITIES SHALL BE DONE IN A MANNER THAT MINIMIZES THE AREA OF UNSTABILIZED SOIL WITHIN THE SITE.
7. FREQUENT WATERING WILL BE REQUIRED TO PREVENT WIND EROSION AND TO MINIMIZE THE PRODUCTION OF DUST DURING CONSTRUCTION ACTIVITIES.
8. THE CONTRACTOR SHALL PROVIDE A STABILIZED CONSTRUCTION EXIT AS PER NYSDEC STANDARDS AND SPECIFICATIONS AT SPECIFIED INGRESS AND EGRESS POINTS FOR THE PROJECT SITE. ACCESS/EGRESS SHALL BE COORDINATED WITH THE CONTRACTOR'S SITE LOGISTICS PLAN.
9. PRIOR TO DEMOLITION/ABANDONMENT OF STORM UTILITIES, PROPOSED DRAINAGE FACILITIES SHALL BE INSTALLED TO ALLOW THE STORM FLOW TO BE TRANSPORTED TO THE EXISTING OUTLETS WITHOUT ERODING THE SITE.
10. CONTRACTOR SHALL PHASE CONSTRUCTION IN ORDER TO MINIMIZE SOIL EROSION.
11. ADJACENT PAVED WORK AREAS, SIDEWALKS, PEDESTRIAN WALKWAYS ARE TO BE INSPECTED DAILY AND SHALL BE SWEEP AS NECESSARY TO REMOVE EXCESS DIRT, MUD, OR DEBRIS TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE SHALL BE COVERED BY TARPULIN.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SEDIMENTATION AND EROSION CONTROL DEVICES AND PROVIDING ANY ADDITIONAL DEVICES DEEMED NECESSARY BY THE OWNER DURING CONSTRUCTION.
13. UPON COMPLETION OF THE PROJECT ALL AREAS WITHIN THE PROJECT WORK AREA SHALL BE STABILIZED AS WELL AS ANY AREAS LEFT DENUDED FOR MORE THAN 14 DAYS.
14. TEMPORARY PARKING AND STORAGE AREAS WHICH SHALL BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES SHALL BE INCORPORATED FROM CONTRACTOR'S WORK PLAN.
15. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED. NO WASH WATER CAN BE DISCHARGED INTO THE EAST RIVER OR ANY DRAINAGE SYSTEM TRIBUTARY TO THE RIVER.
16. RUBBISH, TRASH GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

17. ALL DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED TEMPORARILY WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAYMULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
18. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THESE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
19. MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
20. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
21. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE EROSION AND SEDIMENT CONTROL MEASURES SILT FENCES, ETC. SHALL BE ADJUSTED TO PREVENT EROSION AND POLLUTANT DISCHARGE.
22. AREAS INSIDE LIMITS OF DISTURBANCE, WILL BE IDENTIFIED FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
23. DISTURBANCE OF SITE SHALL BE SEQUENCED TO MINIMIZE SOIL EROSION.

B. PLANNED EROSION AND SEDIMENT CONTROL PRACTICES:

1. SILT FENCE: WILL BE INSTALLED ALONG THE PROPOSED LIMIT OF DISTURBANCE AREAS AS SHOWN AND ALSO AROUND ANY STOCKPILE AREAS.
2. DUST CONTROL: SHOULD EXCESSIVE DUST BE GENERATED, IT SHALL BE CONTROLLED BY WATER SPRINKLING.
3. DEWATERING: DEP AND DEC APPROVED DEWATERING PRACTICES WILL BE USED TO PREVENT PONDING OF WATER DURING CONSTRUCTION.
4. INLET PROTECTION: INLET PROTECTION WILL BE USED AT SEAWALL SCUPPER OPENINGS AND DRAINAGE INLETS WITHIN THE PROJECT LIMITS OF THE SITE.
5. STORMWATER RUN-OFF: DISPOSAL OF STORMWATER RUN-OFF DURING CONSTRUCTION TO AN ON-SITE STORMWATER FILTRATION AND DRAINAGE SYSTEM WILL BE IN CONFORMANCE WITH THE NYSDEC REGULATIONS AND SPECIFICATIONS.

C. MAINTENANCE NOTES:

1. PROPER CONSTRUCTION AND MAINTENANCE OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AND RELATED ITEMS WILL BE INCLUDED WITHIN THE EROSION AND SEDIMENT CONTROL PLAN. PROPER CONSTRUCTION AND STABILIZATION OF PERMANENT CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THE EROSION AND SEDIMENT CONTROL PLAN THROUGH COMPLETION OF CONSTRUCTION WILL BE PERFORMED.
2. ALL EROSION AND SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL THE TRIBUTARY AREA TO THE CONTROL IS COMPLETELY STABILIZED AT THE END OF THE SITE AND PAVING / LANDSCAPING WORK. ALL CONTROLS SHALL BE CHECKED DAILY AND AFTER STORM EVENTS TO ENSURE THEY ARE IN PROPER WORKING ORDER.
3. SEDIMENT REMOVED FROM ANY TEMPORARY CONTROL MEASURE DURING REGULAR MAINTENANCE MAY BE INCORPORATED BACK INTO THE EARTHWORK AS FILL ON THE SITE IF APPROVED. SEDIMENT THAT IS NOT APPROVED FOR FILL MUST BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND GUIDELINES.
4. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE A WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES DURING A SPECIFIC CONSTRUCTION STAGE.
5. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN ACCUMULATION IS APPROXIMATELY 6 INCHES AT THE FENCE, OR WHEN BULGES DEVELOP IN THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A CONTINUOUS BARRIER.



Project Title:

LIGHTHOUSE TOWER PLAZA REPAVING PROJECT

Project Address:  
755 Main Street  
Roosevelt Island, NY 10044

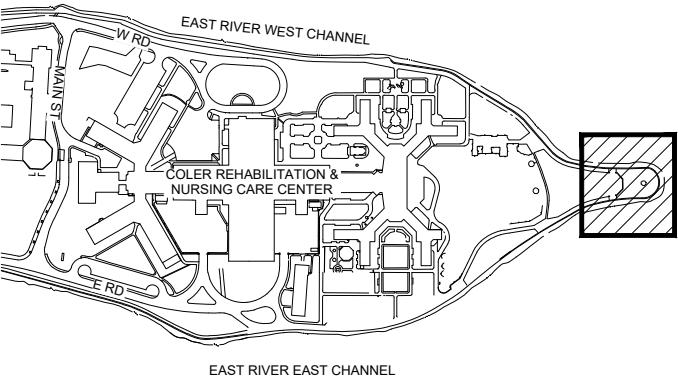
Project Team:

OWNER  
Roosevelt Island Operating Corporation  
591 Main Street  
Roosevelt Island, NY 10044

LANDSCAPE ARCHITECTS

Stantec  
475 Fifth Avenue 12th Floor  
New York, NY 10017  
(T) 212 366 5600

Key Plan:



BLOCK: 1373  
LOT: 1



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GENERAL NOTES

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Scale: NTS

Date: 02/12/2021

Seal:

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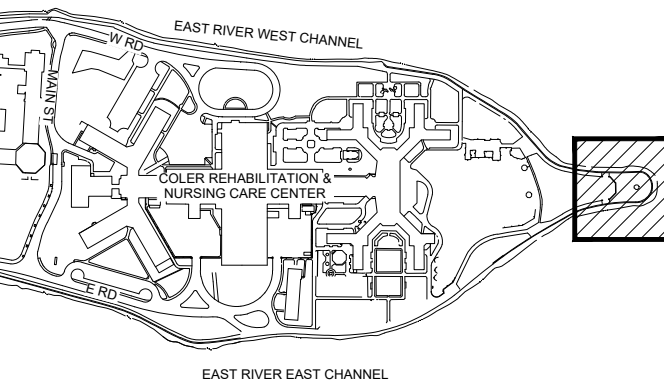
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EXISTING CONDITIONS

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Project No.:

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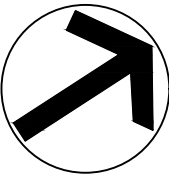
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N.Y.S.P.C.S.  
L.I. ZONE  
NAD83

EAST RIVER

EAST RIVER

SURVEY CONTROL				
POINT	NORTH	EAST	ELEV.	DESC.
KS-3	220798.83	1000759.94	5.38	"X"-CUT

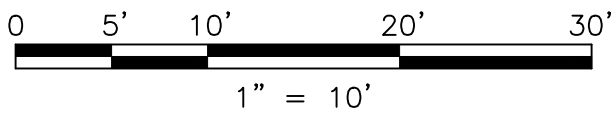
- NOTES:
- VERTICAL DATUM, NAVD 88 AND HORIZONTAL DATUM, NEW YORK STATE STATE PLANE COORDINATE SYSTEM LONG ISLAND ZONE (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM METHODOLOGY.
  - EXISTING FEATURES AND ELEVATIONS SHOWN HEREON, DEPICTED AS THEY EXISTED IN JANUARY 2020.
  - EXISTING DRAINAGE AND SANITARY SEWER UTILITY INFORMATION SHOWN HEREON BASED ON ACTUAL FIELD MEASUREMENTS PER THIS SURVEY AND SUPPLEMENTED WITH EXISTING UTILITY INFORMATION SUPPLIED TO KS ENGINEERS IN CAD FORMAT. STRUCTURES DEPICTED WITH AN "(R)" DENOTES RECORD INFORMATION AND NOT FIELD VERIFIED.
  - EXISTING UNDERGROUND UTILITY INFORMATION SUCH AS WATER AND ELECTRIC ARE DEPICTED ON THIS SURVEY FROM A "BEST FIT" OF ABOVE MENTIONED SUPPLIED CAD DATA IN ACCORDANCE WITH SURVEYED SURFACE HARDWARE i.e. VALVES, MANHOLES AND JUNCTION BOXES.
  - EXISTING UNDERGROUND GAS LINES ARE DEPICTED ON THIS SURVEY AS PER FIELD LOCATED UTILITY MARKOUT.

LEGEND

ABBREVIATION

BUILDING	BLD.
BOTTOM	BOT.
BOTTOM OF CURB	BC
BOTTOM OF WALL	BW
CONCRETE	CONC.
CHAIN LINK FENCE	C.L.F.
DROP CURB	DC
ENTRANCE	ENT.
GRADE	GR
INVERT	INV.
SIDEWALK	SW
TOP OF WALL	TW.
TOP OF CURB	TC

BUILDING	.....
BUILDING HATCH	.....
WALL TOP	.....
WALL BOTTOM	.....
TREE & TRUNK DIAMETER	.....
CON./SW LINE	.....
CONTOUR MAJOR	.....
CONTOUR MINOR	.....



SYMBOLS

TEL	PAY PHONE
EB	ELECTRIC BOX
KS-3	CONTROL POINT
Street Light Symbol	STREET LIGHT
Column Symbol	COLUMN
Sign Symbol	SIGN
Catchbasin Symbol	CATCHBASIN



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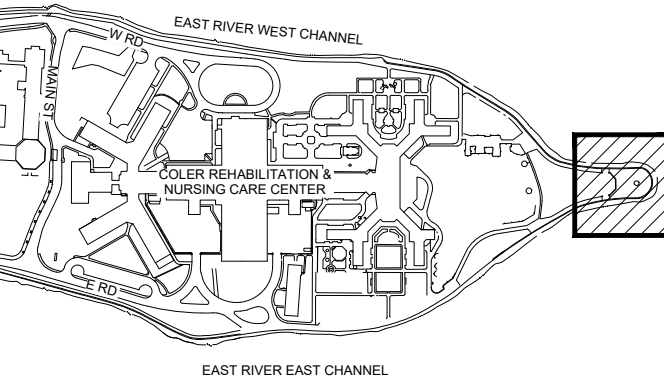
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SITE PREP AND DEMO

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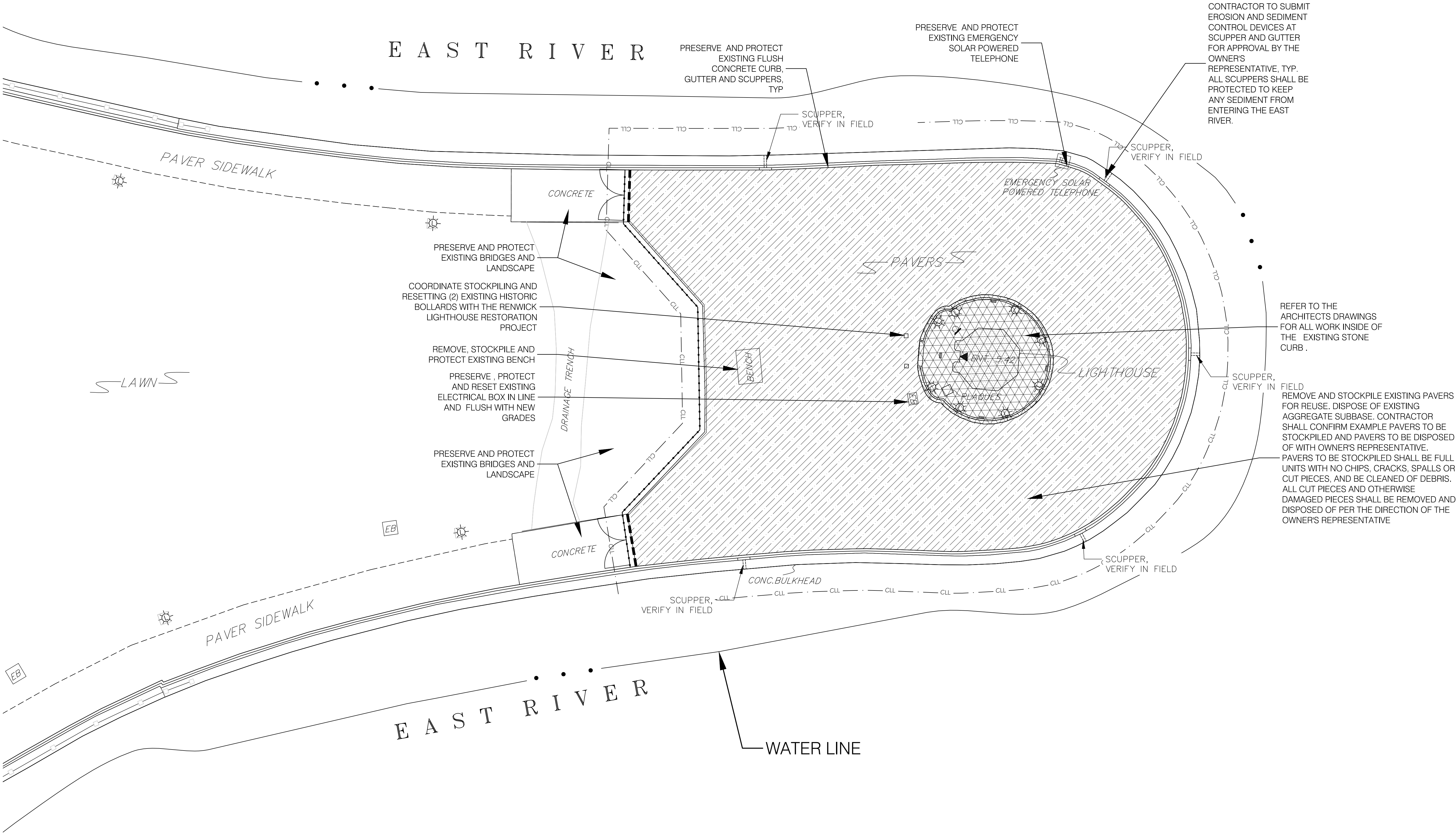
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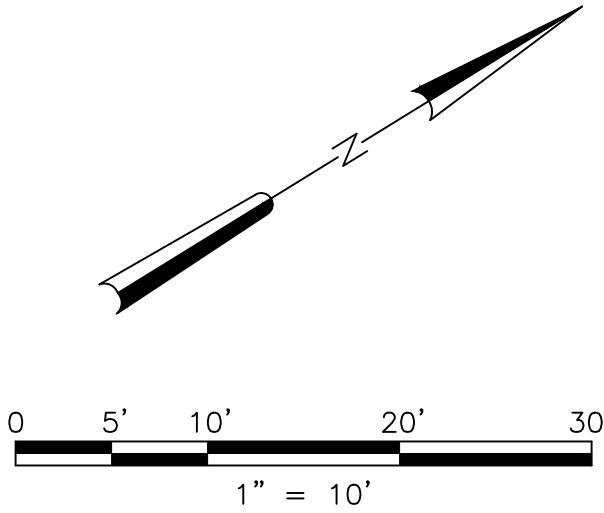
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LEGEND

- |              |               |     |                                      |                                 |
|--------------|---------------|-----|--------------------------------------|---------------------------------|
| TEL          | PAY PHONE     | CLL | CONTRACT LIMIT LINE                  | PROP. SILT SACK FOR CATCH BASIN |
| EB           | ELECTRIC BOX  | CLL | SITE WORK LIMIT                      | PROP. CONSTRUCTION GATE         |
| KS-3         | CONTROL POINT | CLL | CONSTRUCTION FENCE                   | SITE ACCESS                     |
| STREET LIGHT |               | CLL | REMOVE AND STOCKPILE EXISTING PAVERS |                                 |
| COLUMN       |               | CLL |                                      |                                 |
| SIGN         |               | CLL |                                      |                                 |





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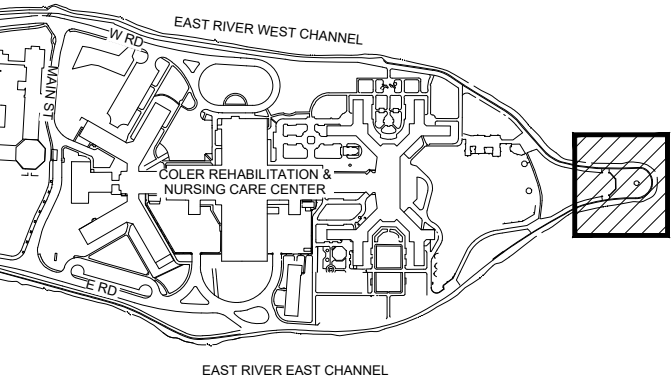
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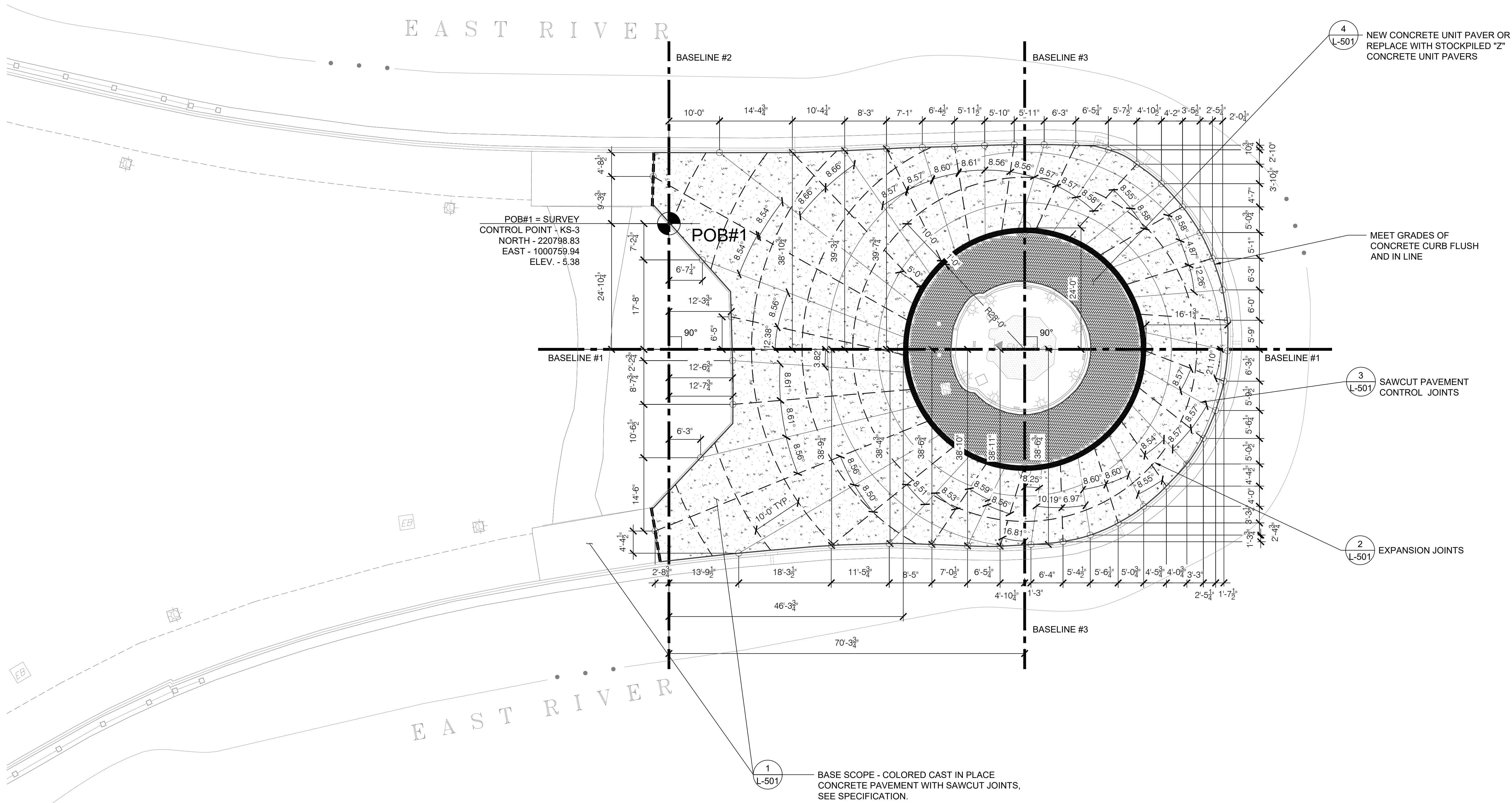
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LEGEND

	SITE WORK LIMIT
	CAST IN PLACE CONCRETE - COLOR 1
	CAST IN PLACE CONCRETE - COLOR 2
	PRECAST UNIT PAVER
	CONTROL JOINT
	EXPANSION JOINT
	POINT OF BEIGNING

1  
L-501

5874 SQ. VIF

1  
L-501

148 SQ. VIF

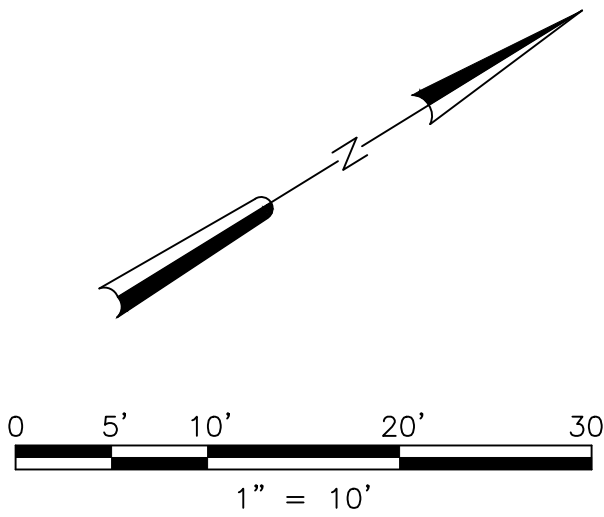
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1082 SQ. VIF

3  
L-501

2  
L-501

ADD ALTERNATE - EXPOSED CONCRETE  
AGGREGATE PAVEMENT WITH COLOR ADDITIVE  
TO MATCH EXISTING BRIDGE CONCRETE, SEE  
SPECIFICATION.





**Project Title:**

# LIGHTHOUSE TOWER PLAZA REPAVING PROJECT

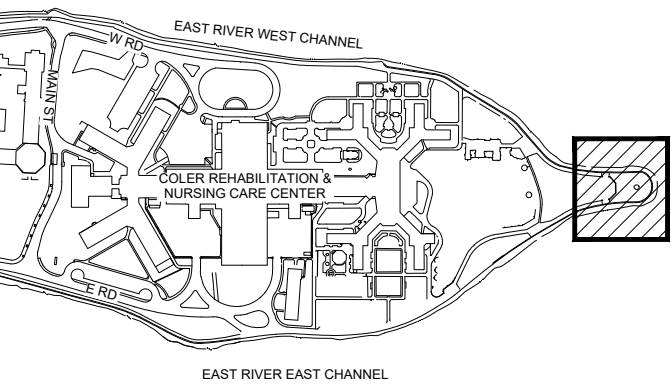
**Project Address:**  
755 Main Street  
Roosevelt Island, NY 10044

**Project Team:**  
**OWNER**  
**Roosevelt Island Operating Corporation**  
**591 Main Street**  
**Roosevelt Island, NY 10044**

## LANDSCAPE ARCHITECTS

**Stantec**  
**475 Fifth Avenue 12th Floor**  
**New York, NY 10017**  
**(T) 212 366 5600**

### Key Plan:



**BLOCK: 1373**  
**LOT: 1**

REVISION:	DATE:	ISSUED TO:
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**Drawing Title:**

## GRADING PLAN

NOT FOR CONSTRUCTION

**Project No.:**

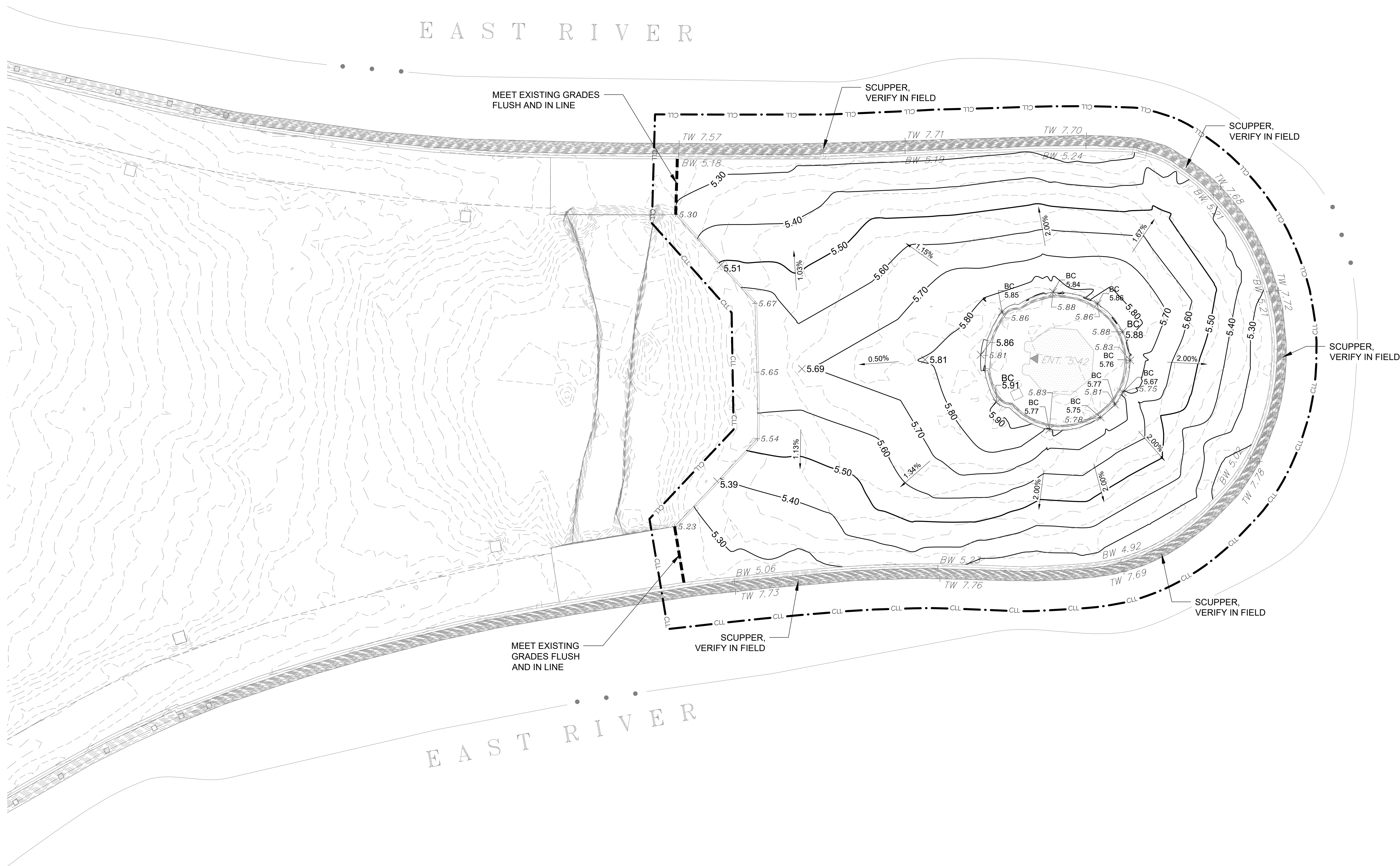
**Scale:** 1"=10'

**Date:** 02/12/2021

**Drawing No.:**

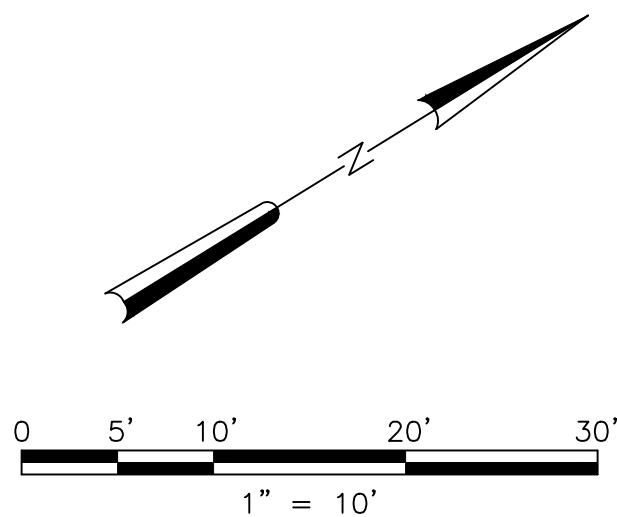
L-202.00

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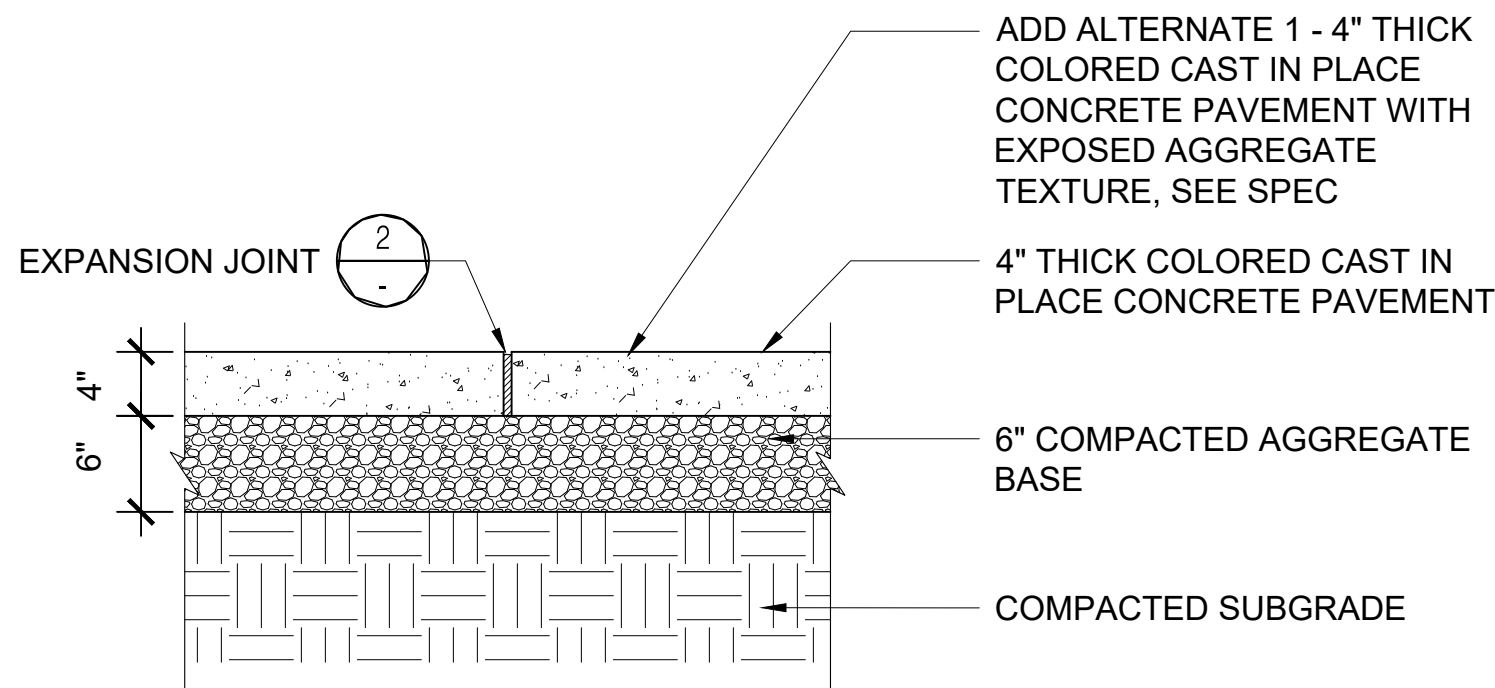


## LEGEND

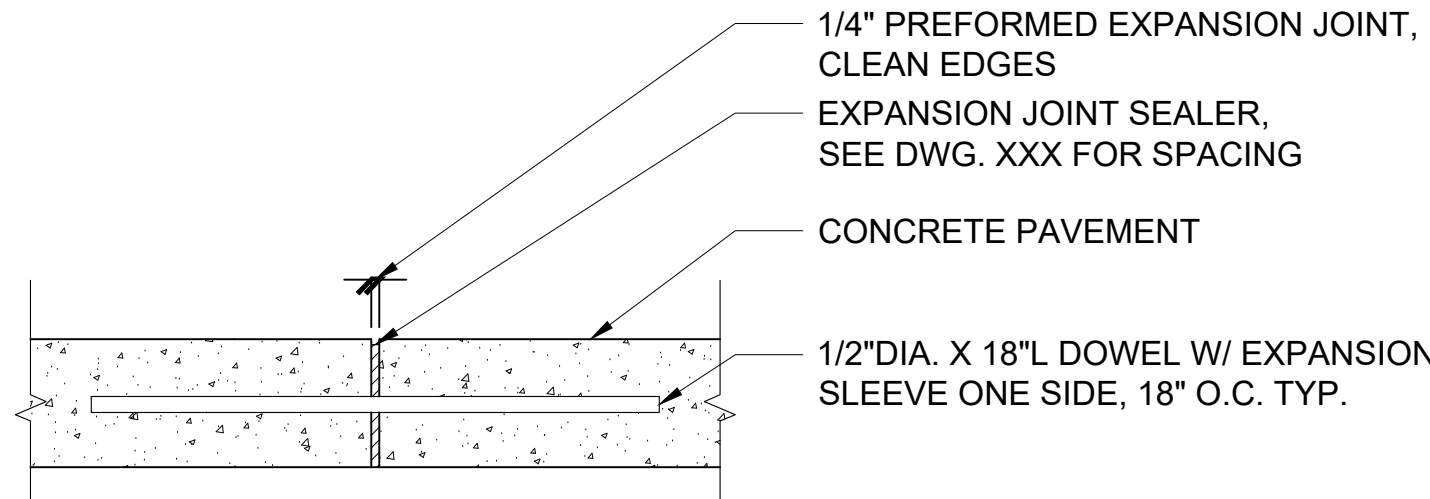
-----	SITE WORK LIMIT
<u>XX</u>	MAJOR TENTH OF A CONTOUR
<u>XX</u>	MINOR TENTH OF A CONTOUR
<u>XX</u> — —	EXISTING TENTH OF A CONTOUR
TC	TOP OF CURB
BC	BOTTOM OF CURB
× XX.XX	SPOT ELEVATION
+ X.XX	EXISTING ELEVATION



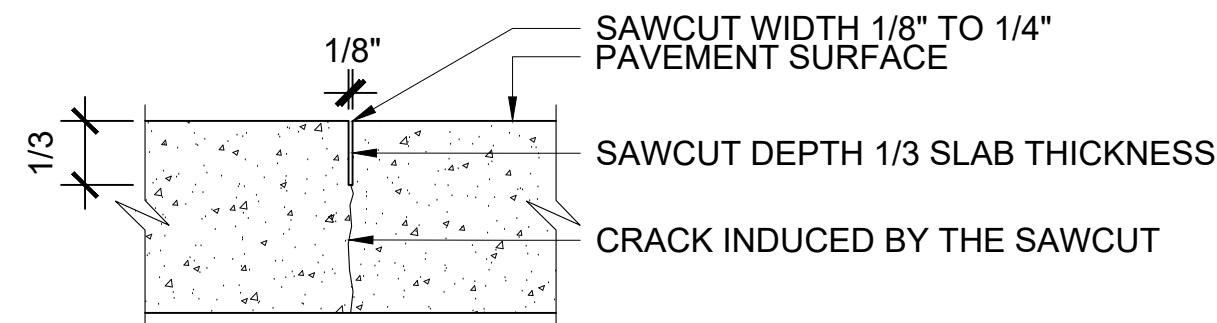




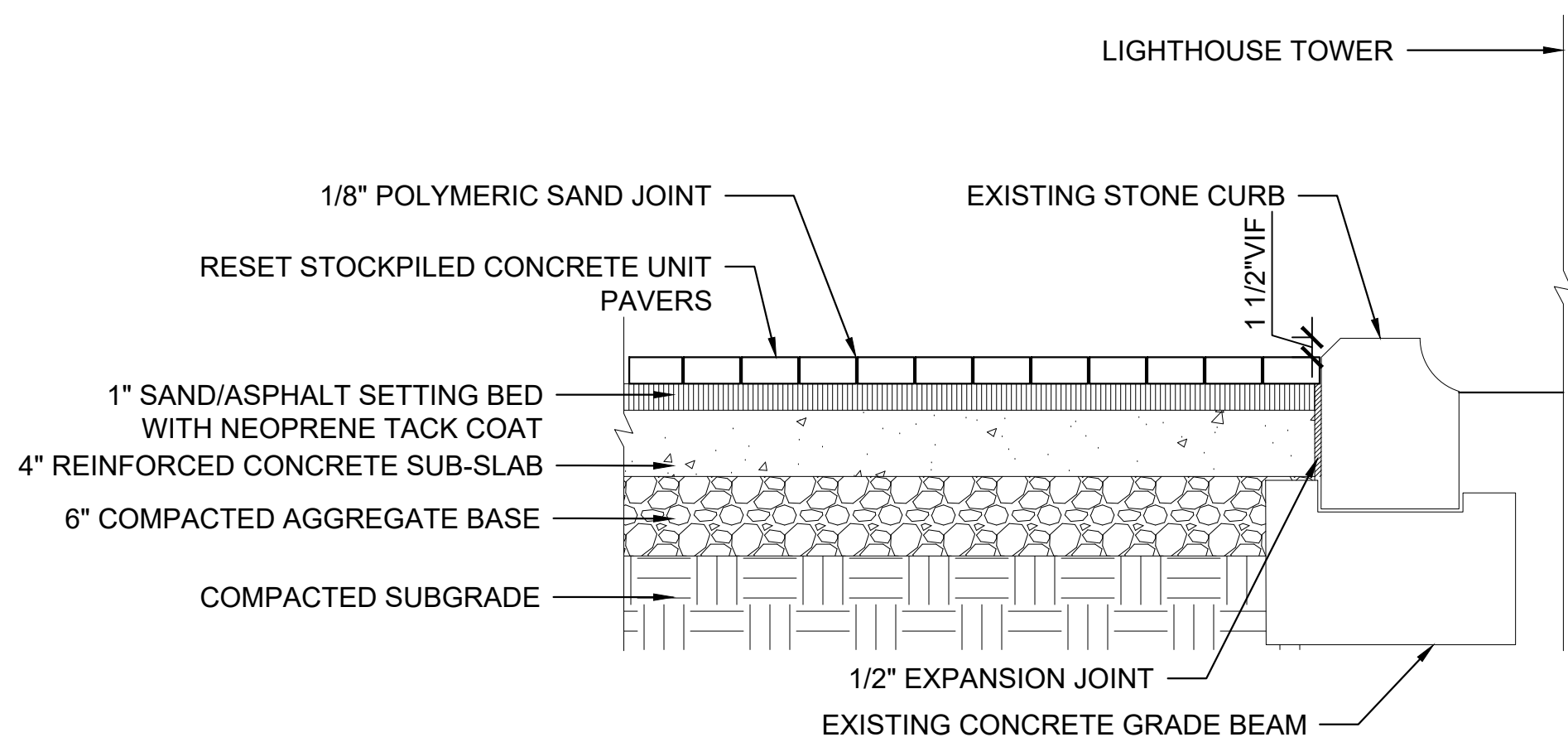
1 COLORED CAST IN PLACE CONCRETE PAVEMENT  
SCALE: 1" = 1'-0"



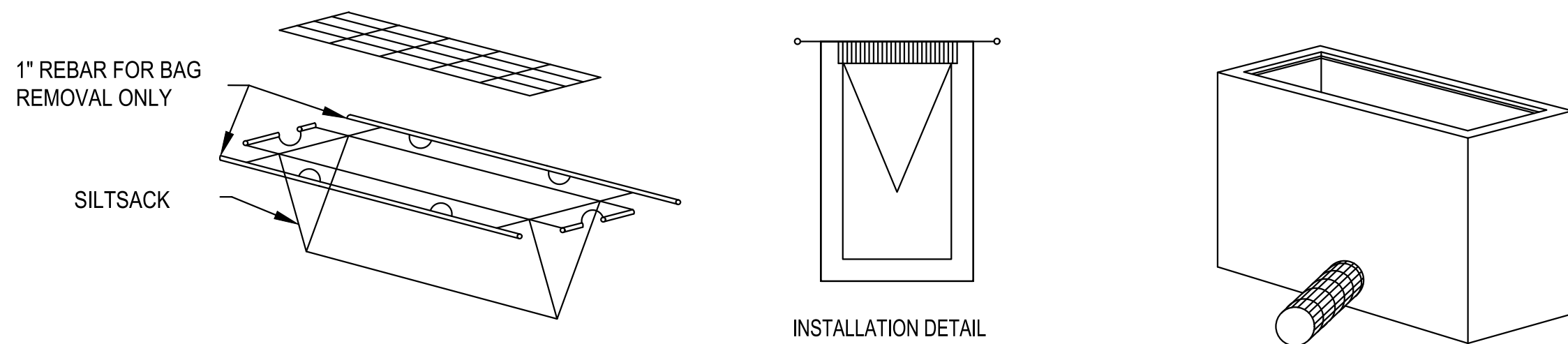
2 EXPANSION JOINT  
SCALE: 2" = 1'-0"



3 CONTROL JOINT  
SCALE: 2" = 1'-0"



4 RESET STOCKPILED PRECAST CONCRETE UNIT PAVER  
SCALE: 1" = 1'-0"



NOTES:

1. THE PRIMARY PURPOSE OF CATCH BASIN PROTECTION IS TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM BY PONDING WATER WHICH ALLOWS SEDIMENT TO FALL OUT OF SUSPENSION.
2. THE TOP OF THE INLET PROTECTION SHALL BE SET AT THE MAXIMUM DESIRED WATER LEVEL BASED ON FIELD LOCATION AND CONDITIONS.
3. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-THIRD OF THE STRUCTURES HEIGHT.

5 FILTER FABRIC INLET PROTECTION  
SCALE: N.T.S.

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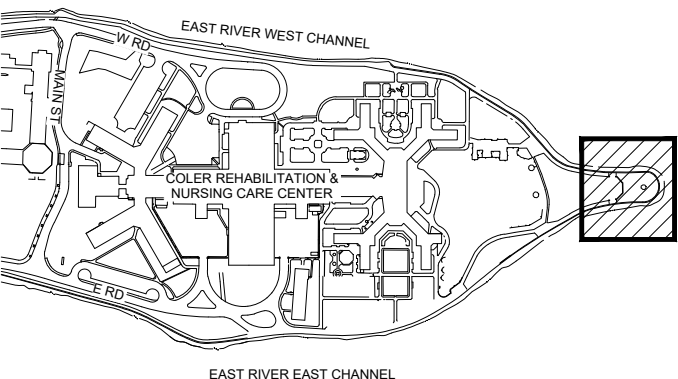
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Key Plan:



BLOCK: 1373  
LOT: 1

REVISION: DATE: ISSUED TO:

Drawing Title:

SITE DETAILS

NOT FOR CONSTRUCTION

Project No.:

Scale: AS SHOWN

Date: 02/12/2021

Seal:

Drawing No.:

L-203.00

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