

Local Office Landscape Architecture
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Design
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Phone: 718.786.1987

Project Team:

Landscape Architect: Local Office Landscape and Urban
Design
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Phone: 718.786.1987

Owner Information:
Roosevelt Island Operating Corporation
591 Main Street
Roosevelt Island, NY 10044
Phone: 212.832.4540

Professional Seal:

Project Title:

Roosevelt
Island
Blackwell Park
Landscape
Improvements

Roosevelt Island, 500
Main Street, New York,
NY 10044

BID SET

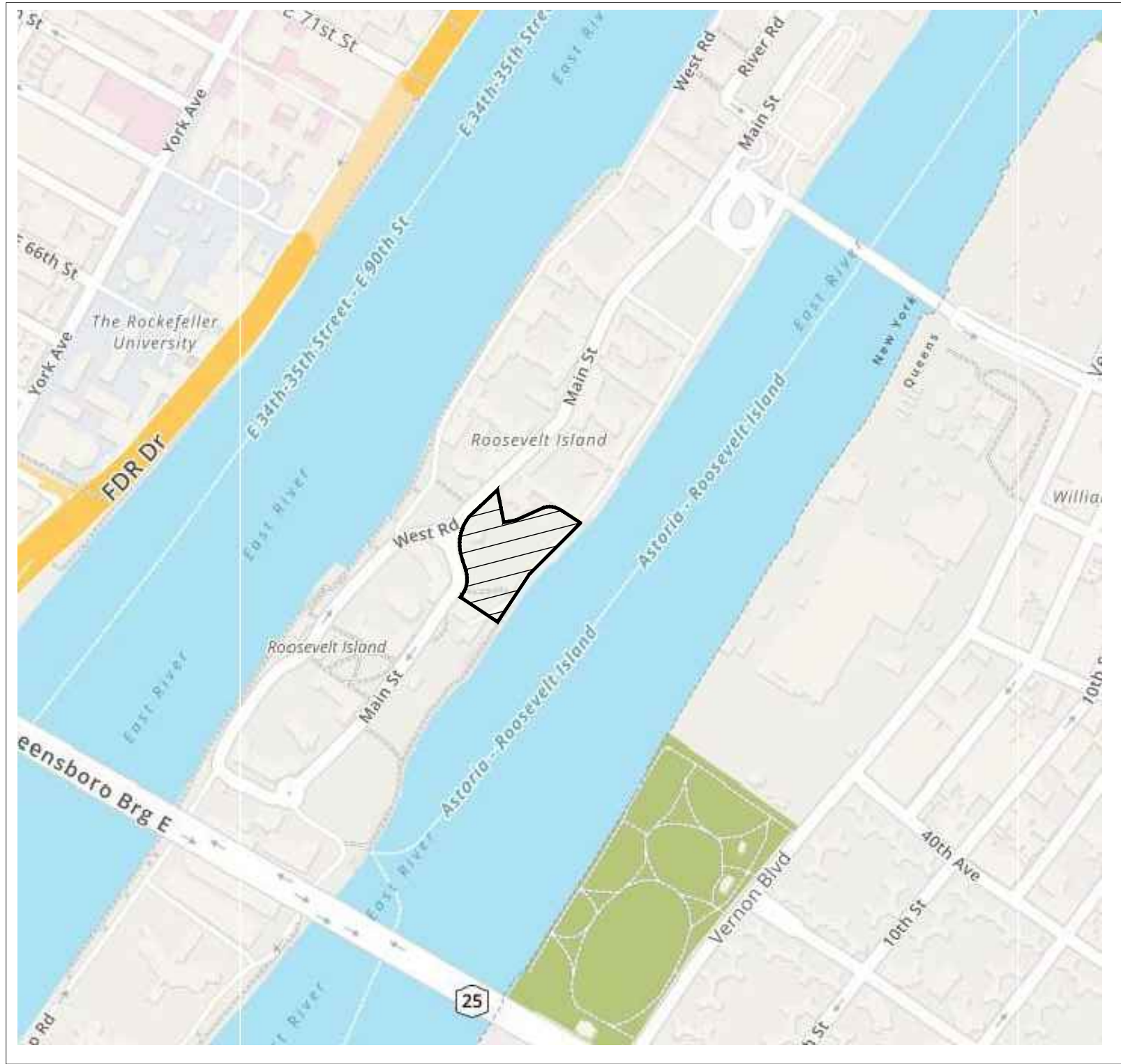
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No. Description Date
1 Bid Set 05-19-2021

Sheet Title:

DRAWING LIST
AND LOCATION PLAN

Project Number: 18275
Drawn By: X
Issue Date: 05.19.2021
Sheet Number: L-0.01



2 LOCATION PLAN
NTS

DRAWING LIST		
NO.	SHEET	TITLE
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13	L5.01	SITE DETAILS
14	L5.02	PLANTING DETAILS

1 DRAWING LIST

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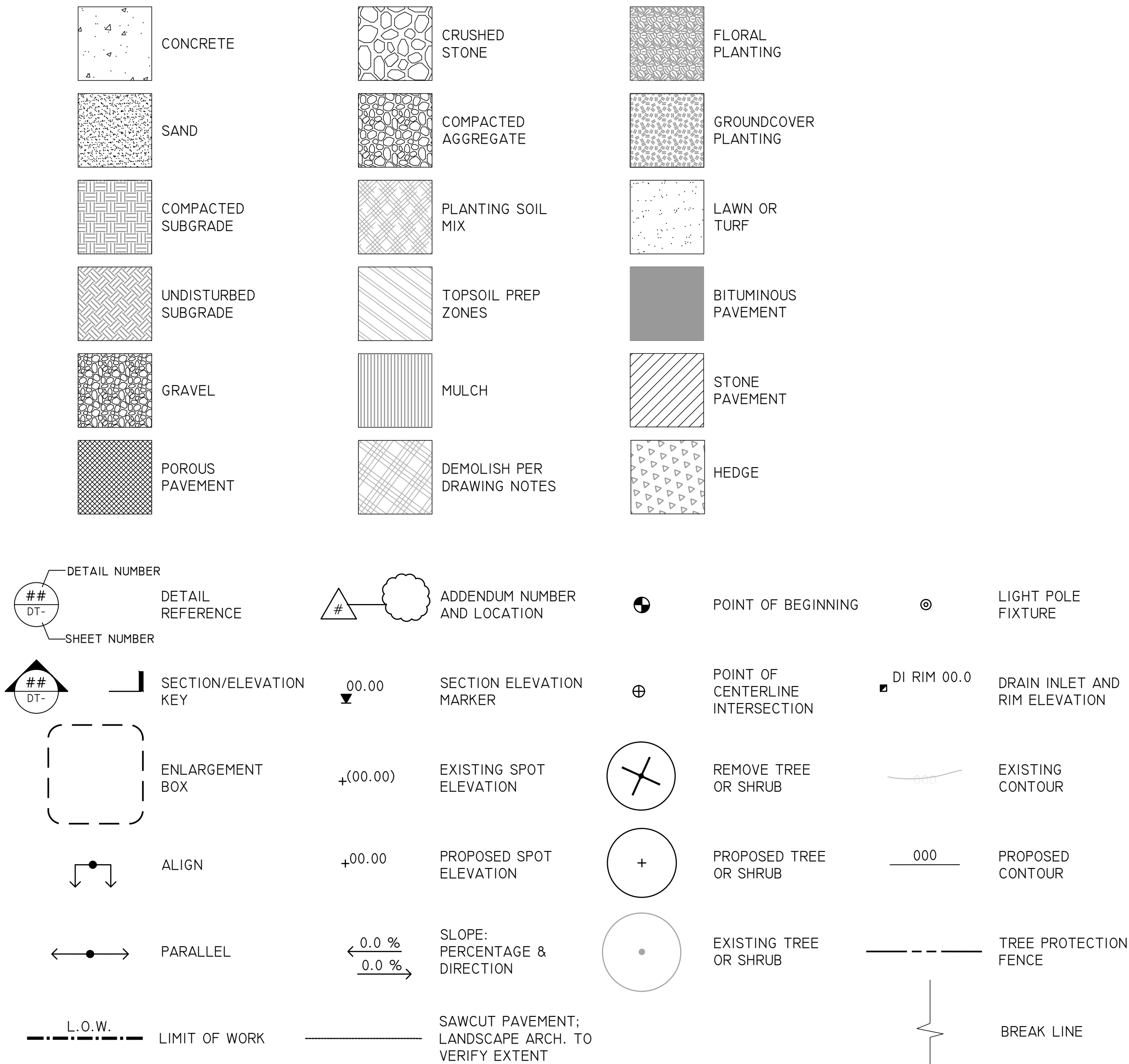
Sheet Title:

SYMBOLS AND
ABBREVIATIONS

Project Number: 18275
Drawn By: X
Issue Date: 05.19.2021
Sheet Number: L-0.02

AGGR	AGGREGATE	MISC	MISCELLANEOUS
ALLOW	ALLOWANCE	NOM	NOMINAL
ALT	ALTERNATE	N	NORTH
AVG	AVERAGE	N/A	NOT APPLICABLE
BET	BETWEEN	NIC	NOT IN CONTRACT
BB	BOTTOM OF BENCH	NTS	NOT TO SCALE
BR	BOTTOM OF RAMP	NO	NUMBER
BS	BOTTOM OF STAIR	OC	ON CENTER
BW	BOTTOM OF WALL	OF	OUTFALL
BIT CONC	BITUMINOUS CONCRETE	OFOI	OWNER TO FURNISH AND INSTALL
BLDG	BUILDING	OPNG	OPENING
BO	BY OTHERS	OPP	OPPOSITE
C-C	CENTER TO CENTER	OD	OUTSIDE DIAMETER
CL	CENTERLINE	PB	PLANTING BED
CIP	CAST IN PLACE	POB	POINT OF BEGINNING
CIR	CIRCLE	PC	POINT OF CURVATURE
CLR	CLEAR	PCC	POINT OF COMPOUND CURVATURE
COL	COLUMN	PRC	POINT OF REVERSE CURVATURE
COMP	COMPACTED	PT	POINT OF TANGENCY
CONC	CONCRETE	PR	PAIR
CONST	CONSTRUCTION	PAR	PARAGRAPH
CJ	CONSTRUCTION OR CONTROL JOINT	PERP	PERPENDICULAR
CONT	CONTINUOUS	PL	PROPERTY LINE
CF	CUBIC FEET	PLMB	PLUMBING
DEG	DEGREE	PSI	POUNDS PER SQUARE INCH
DET	DETAIL	PREFAB	PREFABRICATED
DIA	DIAMETER	PROJ	PROJECT
DBH	DIAMETER AT BREAST HEIGHT	R	RADIUS
DIM	DIMENSION	REF	REFERENCE
DBL	DOUBLE	REBAR	REINFORCING BAR
DN	DOWN	REINF	REINFORCE, REINFORCED
DI	DRAIN INLET	REQD	REQUIRED
DWG	DRAWING	RET	RETAINING
E	EAST	RIM	RIM ELEVATION
ELEC	ELECTRIC	ROW	RIGHT OF WAY
EL, ELEV	ELEVATION	SCH	SCHEDULE
ENG	ENGINEER	SECT	SECTION
EPS	EXPANDED POLYSTYRENE	SHT	SHEET
EQ	EQUAL	SIM	SIMILAR
EQUIP	EQUIPMENT	SK	SKETCH
EXIST	EXISTING	S	SOUTH
EJ	EXPANSION JOINT	SPEC	SPECIFICATION
EXT	EXTERIOR	SQ	SQUARE
FFE	FINISHED FLOOR ELEVATION	SS	STAINLESS STEEL
FT	FEET	STD	STANDARD
FG	FINISHED GRADE	STL	STEEL
FIN	FINISH	STR, STRUC	STRUCTURAL
FTG	FOOTING	T	TREAD
FDN, FDTN	FOUNDATION	TB	TOP OF BENCH
GALV	GALVANIZE	TCS	TOP OF CONCRETE SLAB
HT	HEIGHT	TEL	TELEPHONE
HOR, HORIZ	HORIZONTAL	TEMP	TEMPORARY
HDG	HOT DIP GALVANIZED	THK	THICK
IN	INCH	THRU	THROUGH
INCL	INCLUDE, INCLUDING	T&B	TOP AND BOTTOM
INFO	INFORMATION	TR	TOP OF RAMP
ID	INSIDE DIAMETER	TYP	TYPICAL
INT	INTERIOR	TS	TOP OF STAIR
INV	INVERT ELEVATION	TW	TOP OF WALL
JT	JOINT	ULI	UNDERWRITERS' LABORATORIES, INC.
JB	JUNCTION BOX	VIF	VERIFY IN FIELD - DO NOT PROCEED
LA	LANDSCAPE ARCHITECT		WITHOUT LANDSCAPE ARCH'S INPUT
LB	POUND(S)	VERT	VERTICAL
LT	LIGHT	WP	WATER PROOFING
LIN	LINEAR	W	WIDTH
LOW	LIMIT OF WORK	W/	WITH
MATL	MATERIAL	W/O	WITHOUT
MAX	MAXIMUM	YD	YARD
MHW	MEAN HIGH WATER	@	AT
MLW	MEAN LOW WATER	Ø	DIAMETER
MSL	MEAN SEA LEVEL	±	PLUS OR MINUS - CONTRACTOR MAY
MDO	MEDIUM DENSITY OVERLAY		PROCEED W/ LAYOUT IF DEVIATION IS
MET	METAL		NO GREATER THAN TWO UNITS OF
MIN	MINIMUM		THE SMALLEST DIMENSION GIVEN

2 TYPICAL ABBREVIATIONS



1 TYPICAL SYMBOLS

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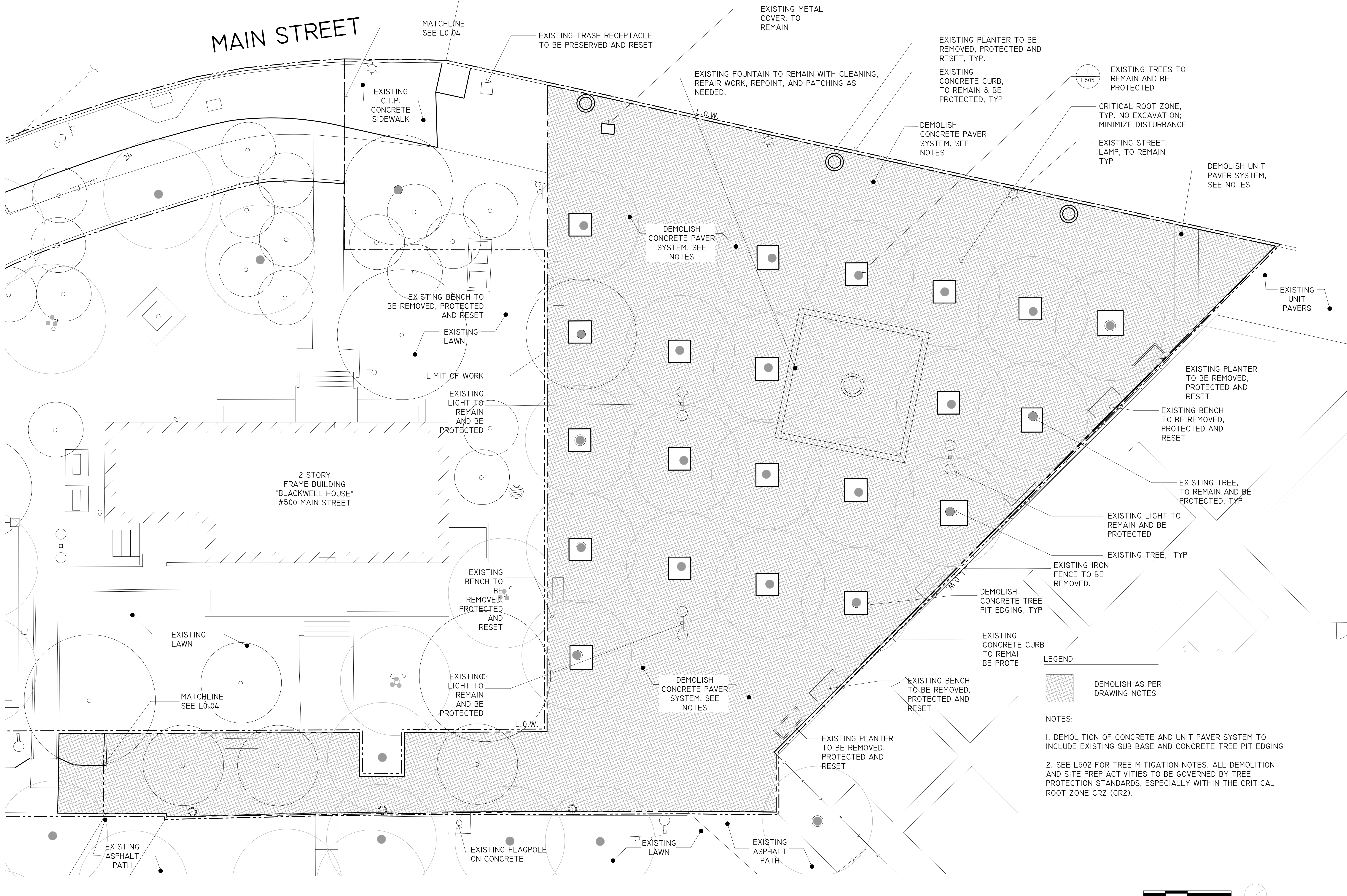
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Sheet Title:
SITE PREPARATION
PLAN - PLAZA

Project Number: 18275
Drawn By: K
Issue Date: 05.19.2021
Sheet Number: L-0.03

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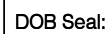


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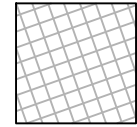
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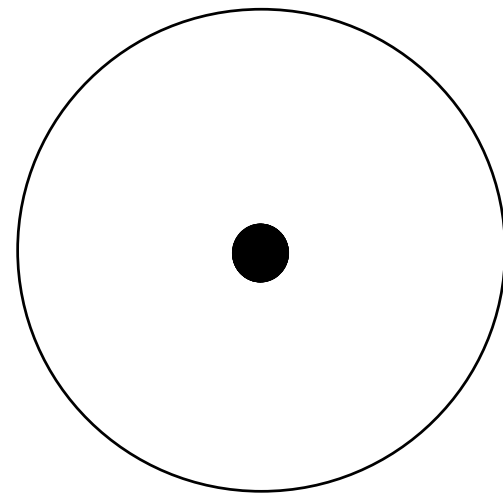
Sheet Title:
SITE PREPARATION
PLAN- LIBRARY PLAZA

Project Number: 18275 Sheet Number:
Drawn By: JZ Issue Date: L-0.05
05.19.2021

LEGEND



DEMOLISH AS PER
DRAWING NOTES

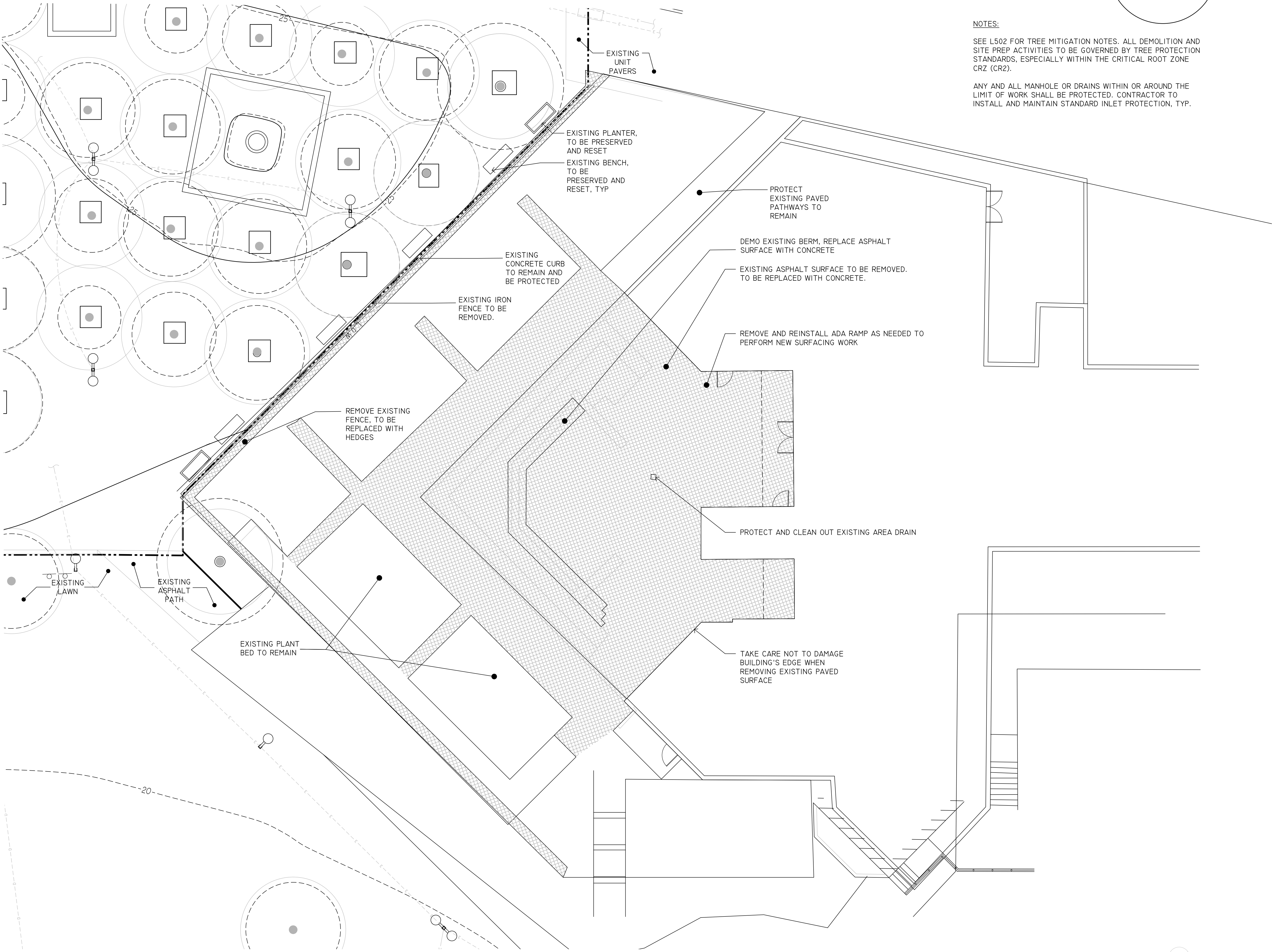


TREE TO REMAIN & BE PROTECTED

NOTES:

SEE L502 FOR TREE MITIGATION NOTES. ALL DEMOLITION AND SITE PREP ACTIVITIES TO BE GOVERNED BY TREE PROTECTION STANDARDS, ESPECIALLY WITHIN THE CRITICAL ROOT ZONE CRZ (CR2).

ANY AND ALL MANHOLE OR DRAINS WITHIN OR AROUND THE LIMIT OF WORK SHALL BE PROTECTED. CONTRACTOR TO INSTALL AND MAINTAIN STANDARD INLET PROTECTION, TYP.



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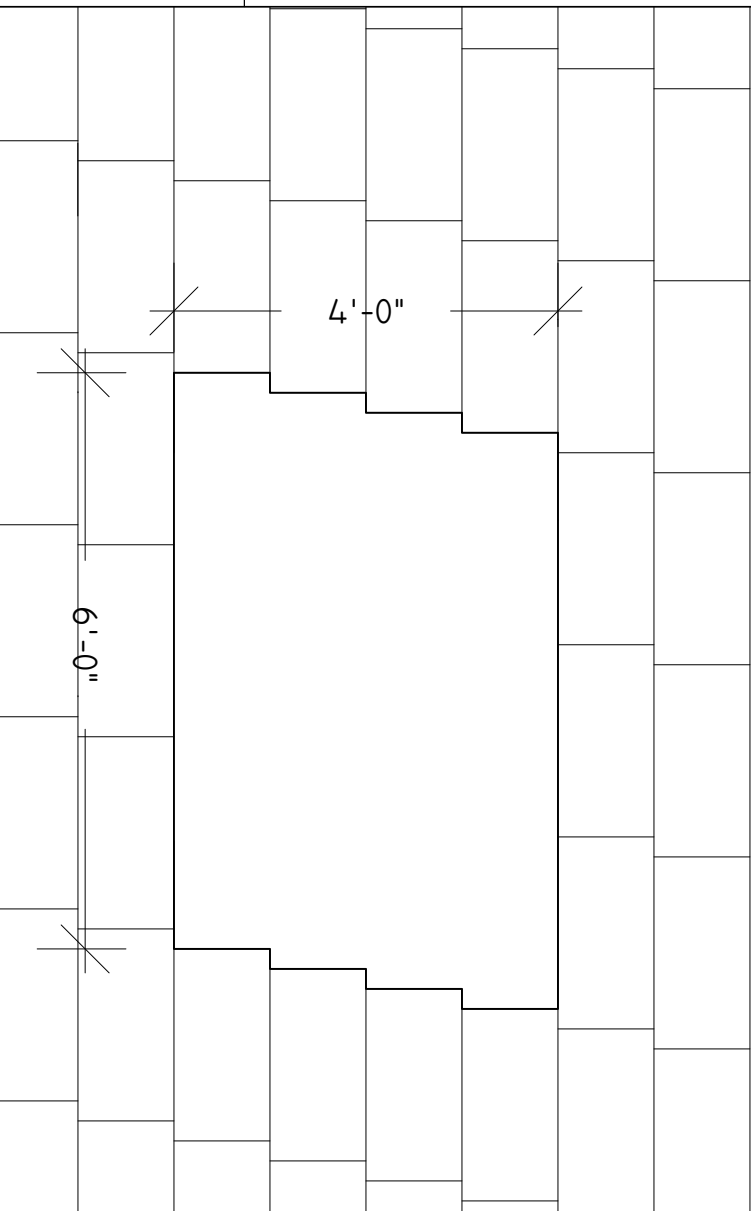
Sheet Title:

MATERIALS PLAN -
PLAZA

Project Number: 18275 Sheet Number:
Drawn By: Z Issue Date: 05-19-2021

L-1.01

- NOTE:
1. TREE PITS TO BE ENLARGED AT 4' WIDE (4 COURSES) AND 6' LONG (3 COURSES)
 2. ALL TREE PIT OPENINGS TO ALIGN WITH PAVER EDGES TO AVOID ANY SAWCUTTING OF PAVERS.
 3. TREE PITS TO BE EDGED WITH LANDSCAPE EDGING



1 LAYOUT DETAILS - CONCRETE PAVERS
1" = 2'-0"

NOTES

CONCRETE PAVERS ON CRUSHED
STONE BASE - CRUSHED STONE BASE
MUST ACHIEVE 95% COMPACTION
PRIOR TO PLACING PAVERS.

LEGEND

- 2 L501 CONCRETE PAVERS
ON CRUSHED STONE
BASE
- 1 L501 CONCRETE PAVERS ON
CONCRETE BASE
- 2 L501 C.I.P. CONCRETE

PAVER SCHEDULE

DETAIL #	DETAIL NAME	PAVER PRODUCT	PAVER COLOR	SIZE	NOTES
1/L501	CONCRETE PAVERS ON CONCRETE BASE	HANOVER PREST PAVER	NATURAL	1'X2'	HANOVERPAVERS.COM
2/L501	CONCRETE PAVERS ON CRUSHED STONE BASE	HANOVER PREST PAVER	LIMESTONE GRAY	1'X2'	HANOVERPAVERS.COM

1" = 8'0

0' 4' 8' 16'

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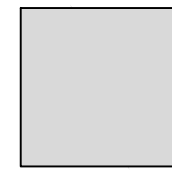
No.	Description	Date
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Sheet Title:

MATERIALS PLAN -
WALKWAY

Project Number: 18275
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Sheet Number: L-1.02

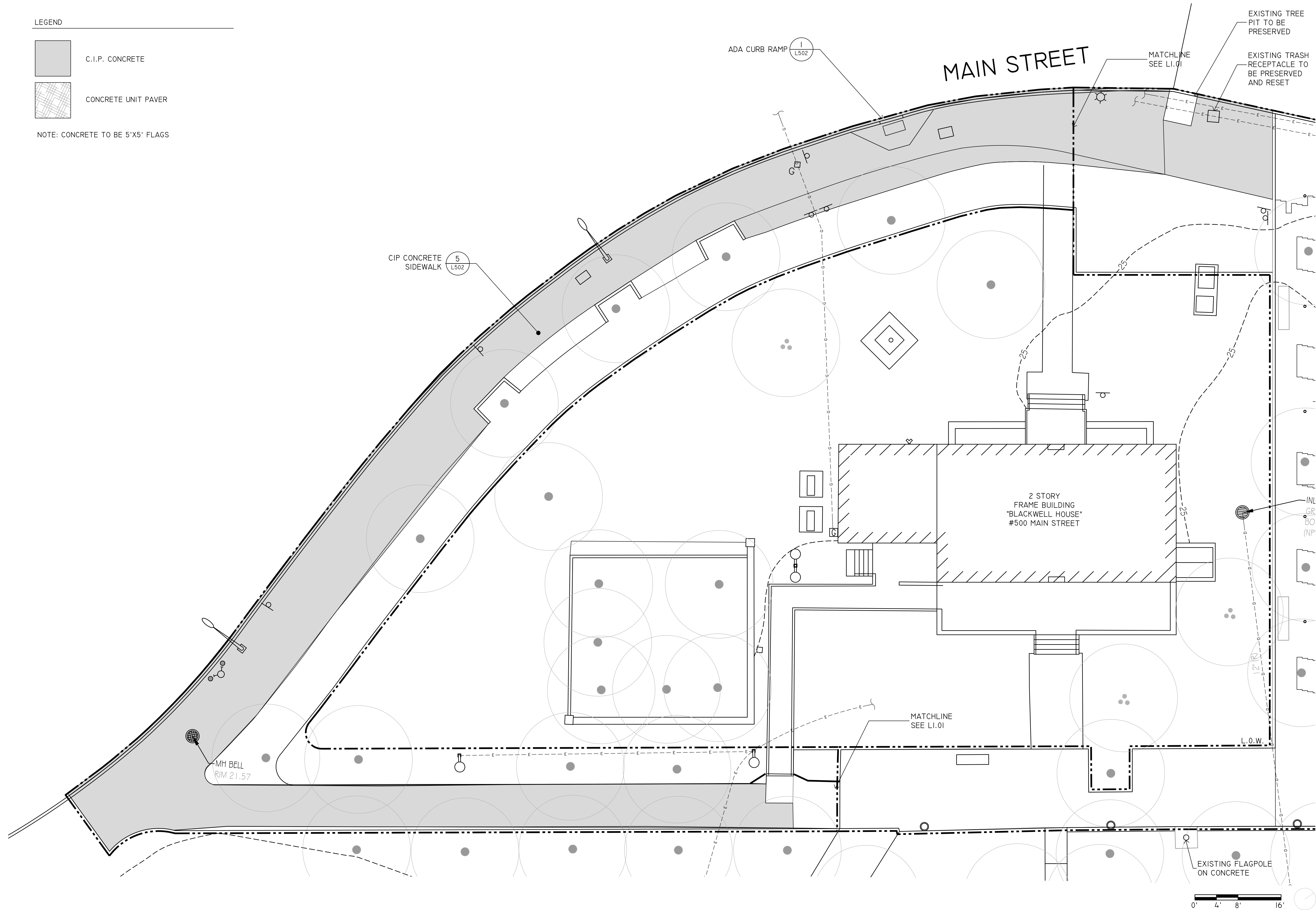
LEGEND



C.I.P. CONCRETE

CONCRETE UNIT PAVER

NOTE: CONCRETE TO BE 5'X5' FLAGS



0' 4' 8' 16'

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MATERIALS PLAN -
LIBRARY PLAZA

Project Number:

18275

Drawn By:

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Issue Date:

05.19.2021

Sheet Number:

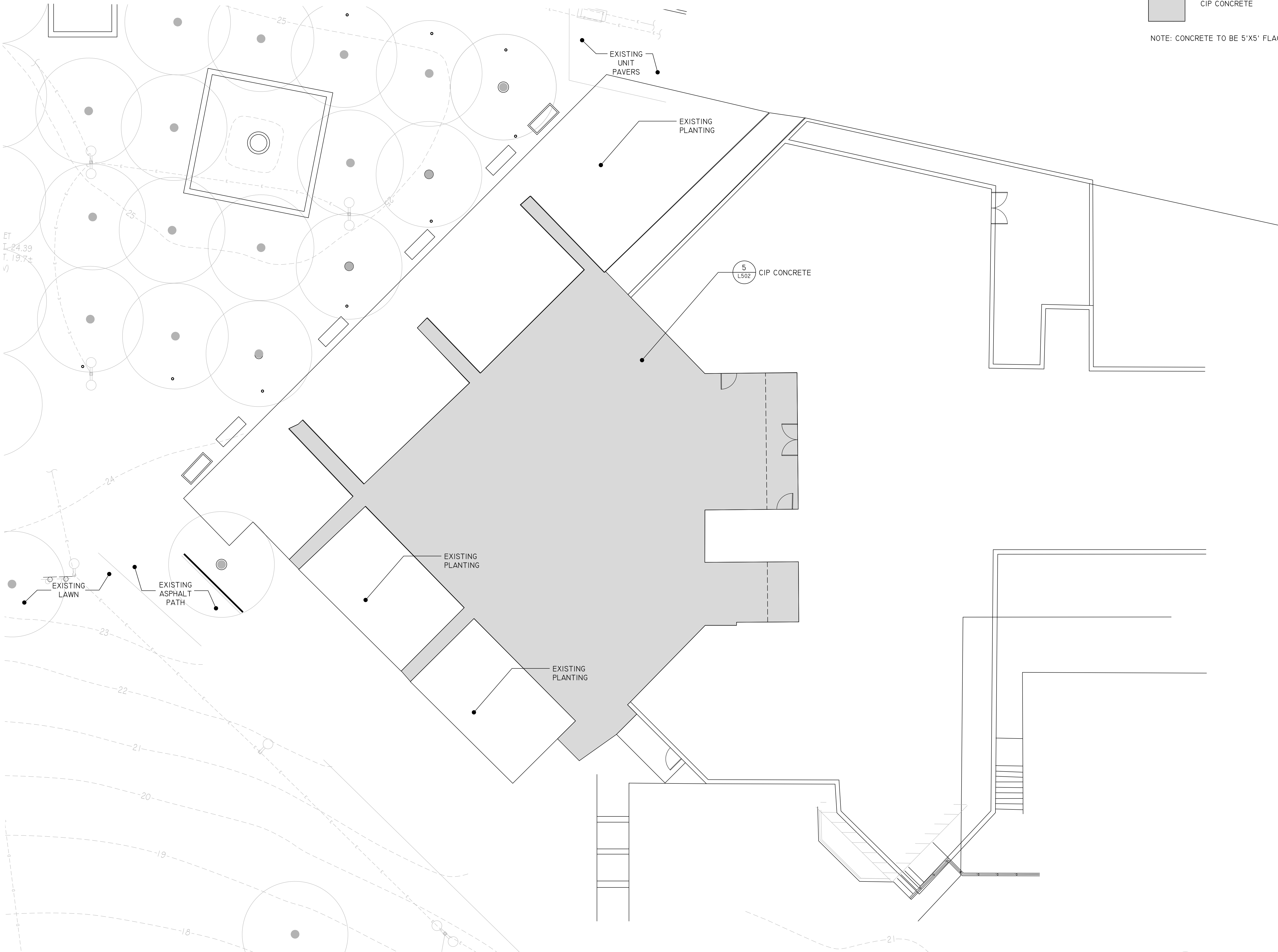
L-1.03

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CIP CONCRETE

NOTE: CONCRETE TO BE 5'X5' FLAGS



0' 4' 8' 16'

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GRADING PLAN -
PLAZA

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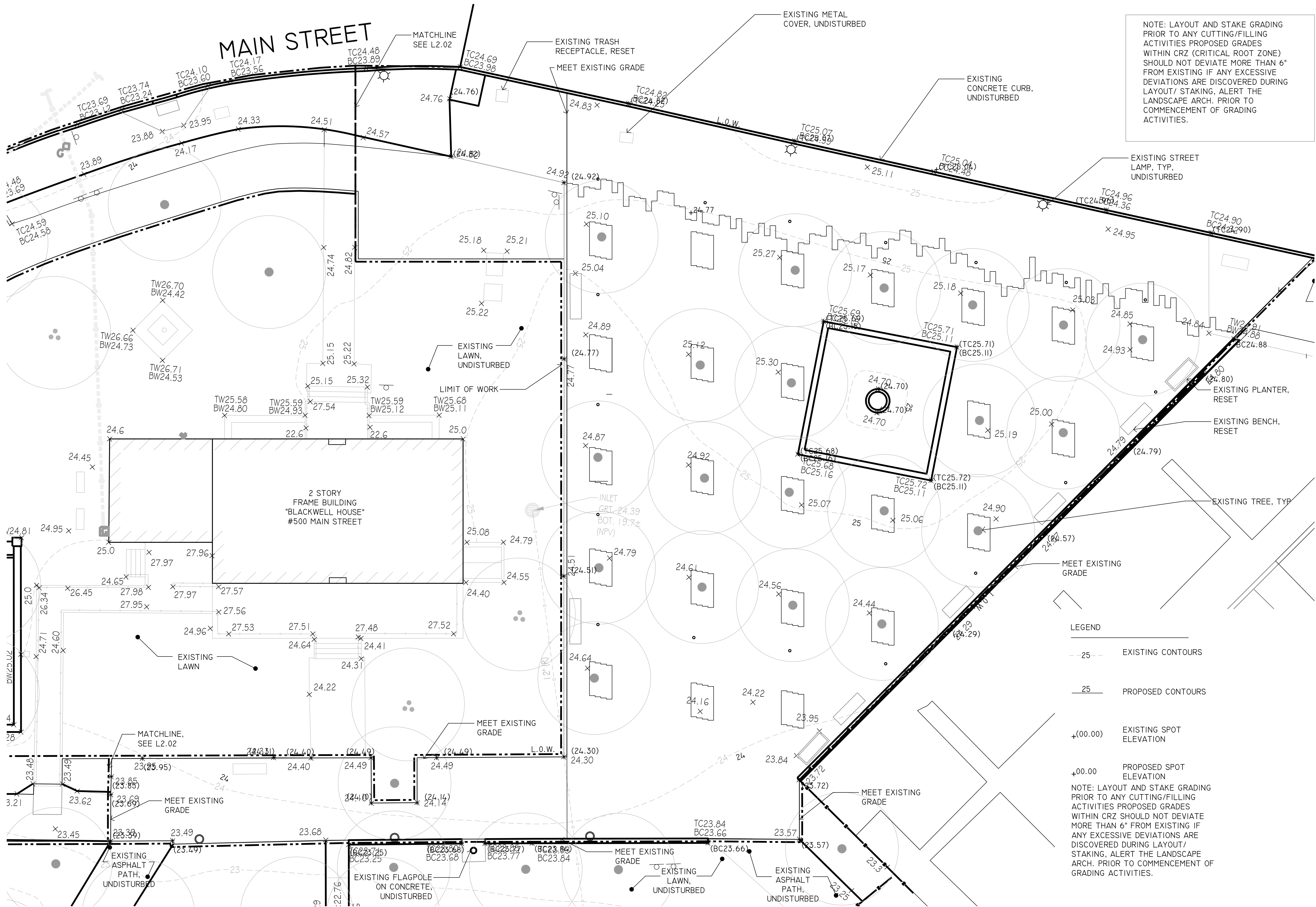
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Architect 200 10th Street, 2nd Floor
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GRADING PLAN -
WALKWAY

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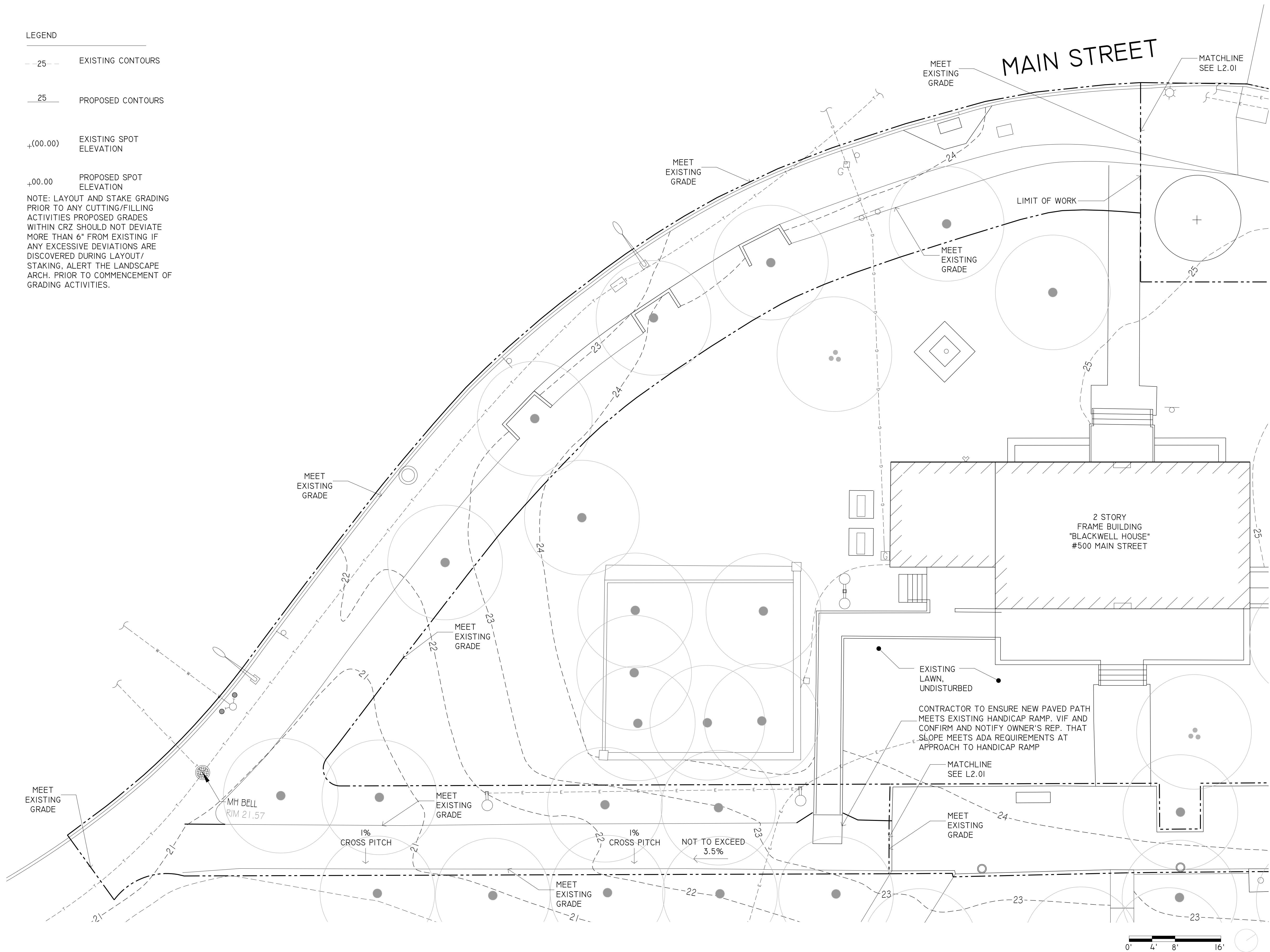
— 25 — EXISTING CONTOURS

— 25 — PROPOSED CONTOURS

+(00.00) EXISTING SPOT
ELEVATION

+(00.00) PROPOSED SPOT
ELEVATION

NOTE: LAYOUT AND STAKE GRADING
PRIOR TO ANY CUTTING/FILLING
ACTIVITIES PROPOSED GRADES
WITHIN CRZ SHOULD NOT DEVIATE
MORE THAN 6" FROM EXISTING IF
ANY EXCESSIVE DEVIATIONS ARE
DISCOVERED DURING LAYOUT/
STAKING. ALERT THE LANDSCAPE
ARCH. PRIOR TO COMMENCEMENT OF
GRADING ACTIVITIES.



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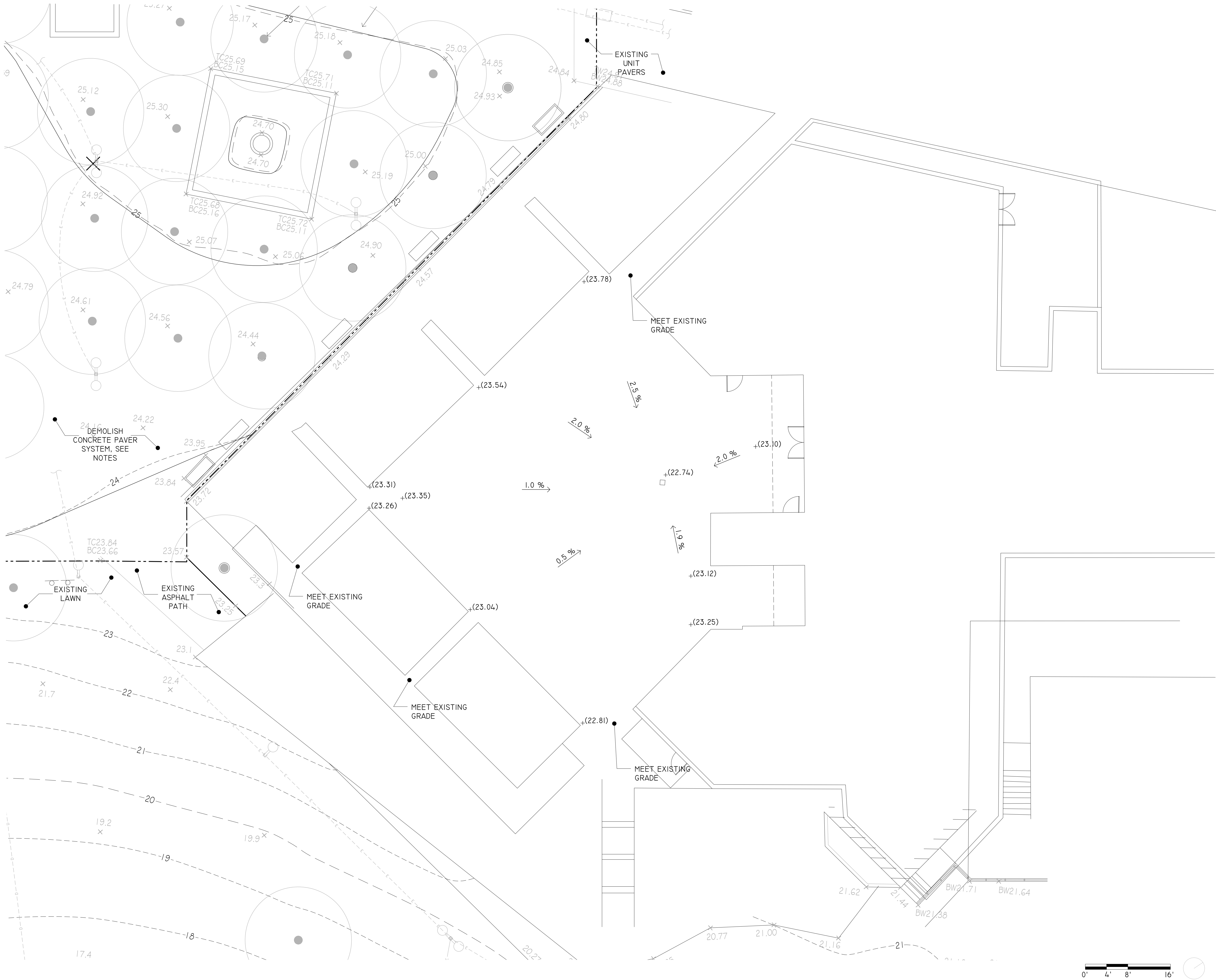
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- CONTRACTOR TO CONFIRM
ELEVATIONS ON DOORWAYS
AND ENTRANCES AND MAINTAIN
GRADES AT DOORWAYS AND
ENTRANCES
- 1% MINIMUM SLOPE NEEDED
FOR POSITIVE DRAINAGE
- CONTRACTOR TO CONFIRM
ELEVATION AT EXISTING DRAIN.
ADJUST AS NEEDED FOR
POSITIVE DRAINAGE
- ANY PATHWAY TO HAVE A 1%
CROSS PITCH FOR POSITIVE
DRAINAGE



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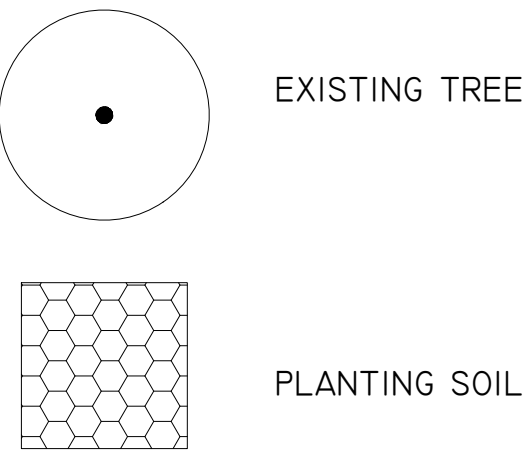
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SOILS PLAN -
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LEGEND



EXISTING
UNIT
PAVERS

PLANTING SOIL

DEMOLISH
CONCRETE PAVER
SYSTEM, SEE
NOTES

EXISTING
LAWN

EXISTING
ASPHALT
PATH

PLANTING SOIL

0' 4' 8' 16'



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Phone: 718.786.1987

Project Team:

Landscape Architect: Local Office Landscape and Urban
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Owner Information:

Roosevelt Island Operating Corporation
591 Main Street
Roosevelt Island, NY 10044
Phone: 212.832.4540

Professional Seal:

Project Title:

Roosevelt
Island
Blackwell Park
Landscape
Improvements

Roosevelt Island, 500
Main Street, New York,
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BID SET

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No.	Description	Date
1	Bid Set	05-19-2021

Sheet Title:

PLANTING PLAN -
LIBRARY PLAZA

Project Number:

18275

Drawn By:

X

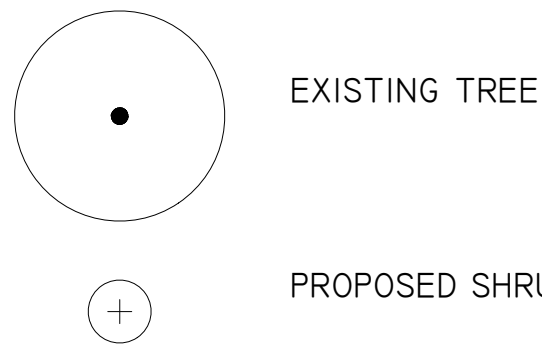
Issue Date:

05.19.2021

Sheet Number:

L-3.01

LEGEND



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHRUBS					
HQ	6	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	OAKLEAF HYDRANGEA 'SNOW QUEEN'	48" HT	B&B, SPACE 4' O.C.
IG	45	ILEX GLABRA	INKBERRY	36" HT	B&B, SPACE 4' O.C.
IV	9	ILEX VERTICILLATA VAR. BERRY HEAVY	WINTERBERRY	48" HT.	B&B, SPACE 4' O.C.
IVN	12	ILEX VERTICILLATA VAR. 'NANA' RED SPRITE	RED SPRITE WINTERBERRY	24" HT	CONT., SPACE 2' O.C.
MP	12	MYRICA PENNSYLVANICA	BAYBERRY	36" HT	B&B, SPACE 4' O.C.
VA	7	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	12" HT	3 GAL CONT.
VC	7	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	36" HT.	B&B, SPACE 3' O.C.

NOTIFY LANDSCAPE ARCHITECT PRIOR TO PLANTING;
LANDSCAPE ARCHITECT TO BE ON SITE FOR LAYOUT OF SHRUB
HEDGE PLANTINGS.



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Roosevelt Island Blackwell Park Landscape Improvements

Roosevelt Island, 500
Main Street, New York,
NY 10044

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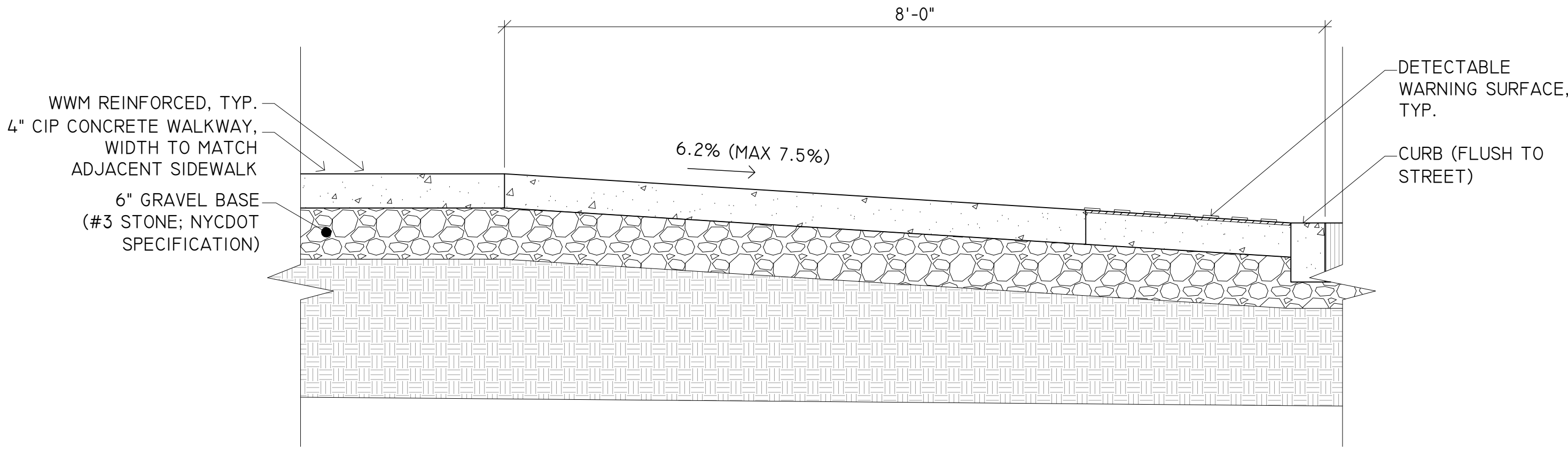
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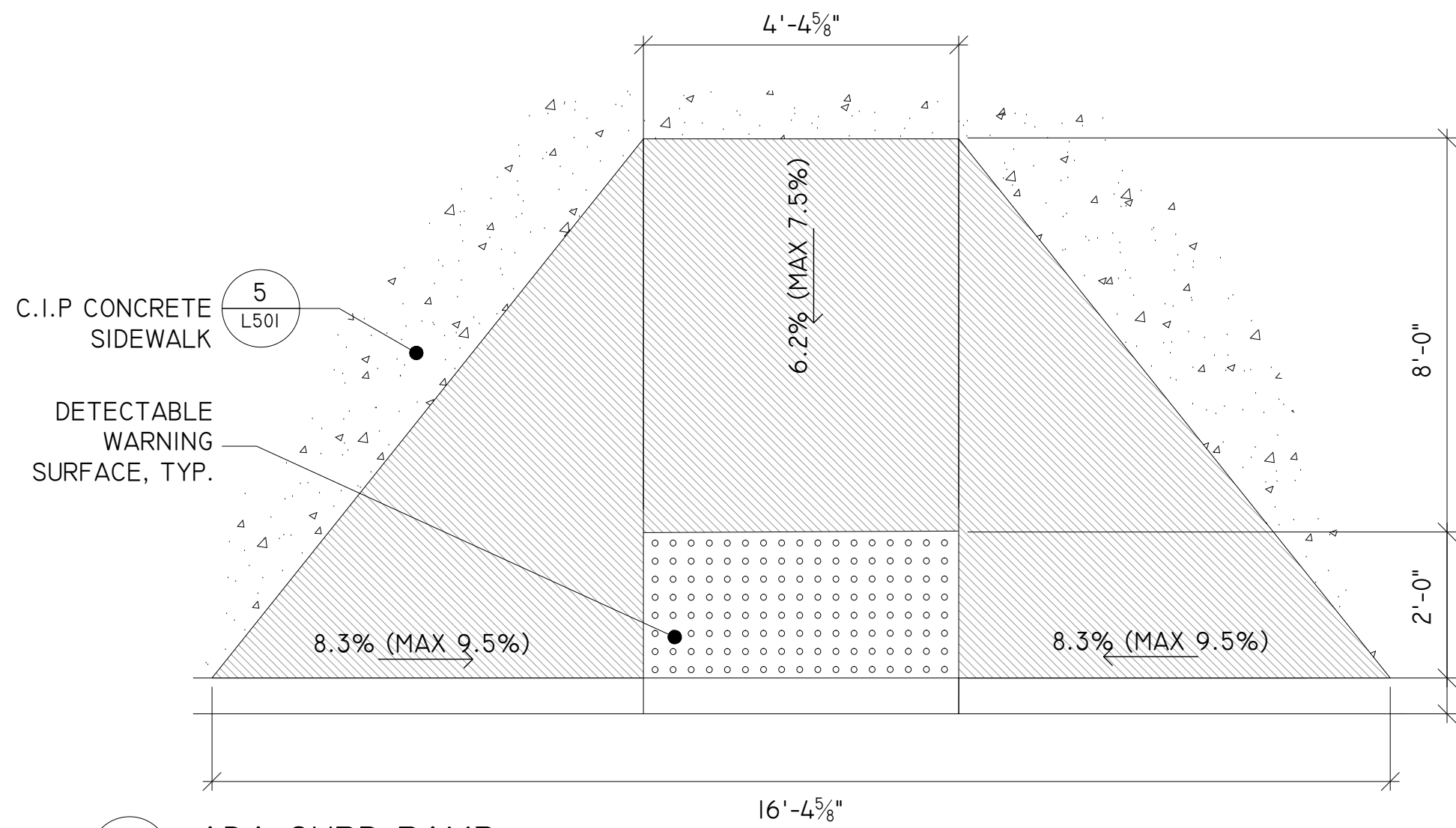
SITE DETAILS I

Project Number:	Sheet Number:
18275	
Drawn By:	
X	L-5.01
Issue Date:	
05.19.2021	



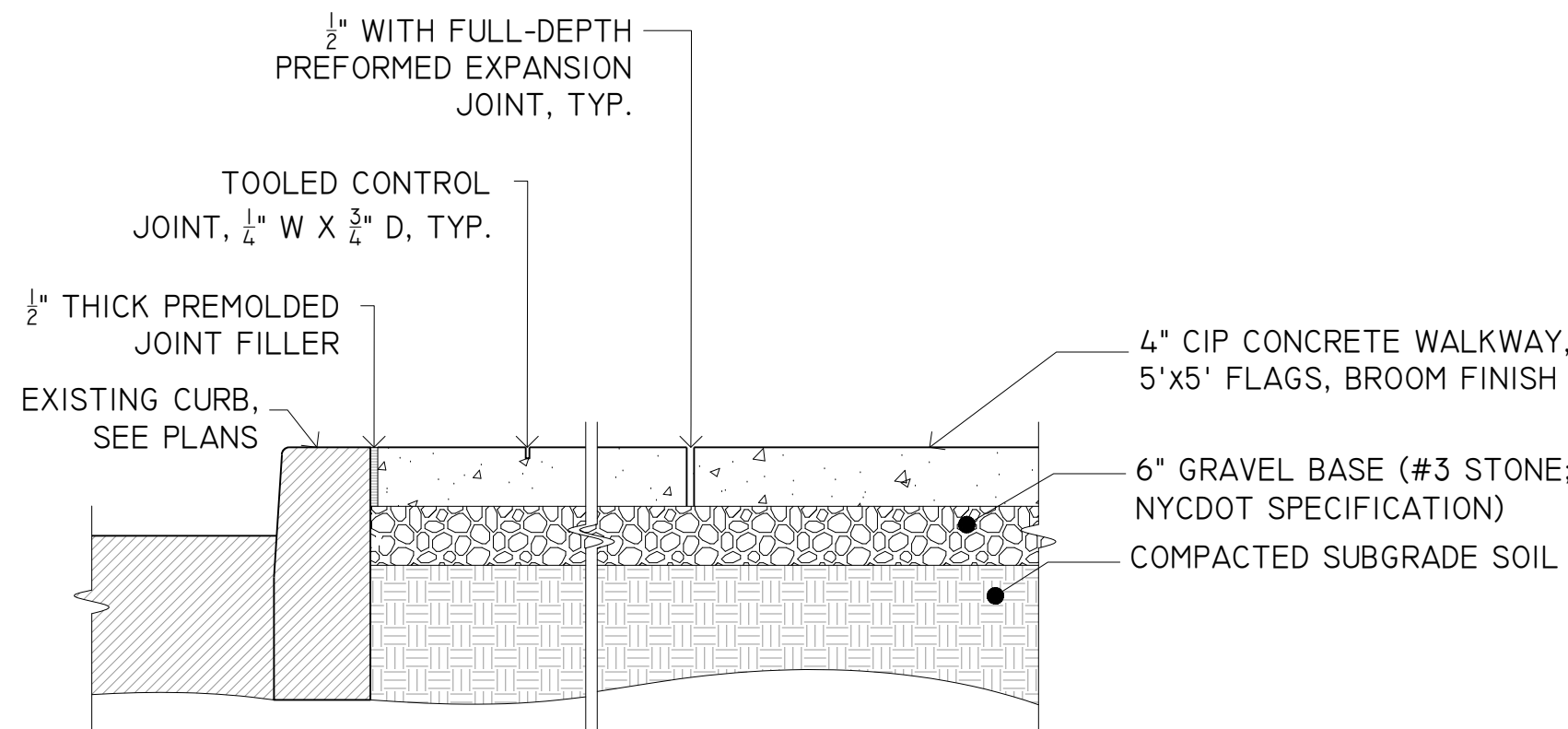
6.1 ADA CURB RAMP
1" = 1'-0"

NOTE: PRECAST CONCRETE ADA PAVERS: PAVERS SHALL BE PRECAST CONCRETE PAVERS, COMPLYING WITH ASTM C109, 8,000 PSI MINIMUM AVERAGE COMPRESSIVE STRENGTH, ACCEPTABLE MANUFACTURERS FOR PRECAST CONCRETE PAVERS ARE: "DETECTABLE WARNING PAVES" AS MANUFACTURED BY HANOVER ARCHITECTURAL PRODUCTS, HANOVER PA, WWW.HANOVERPAVERS.COM. COLOR SHALL BE RED, UNLESS OTHERWISE NOTED.

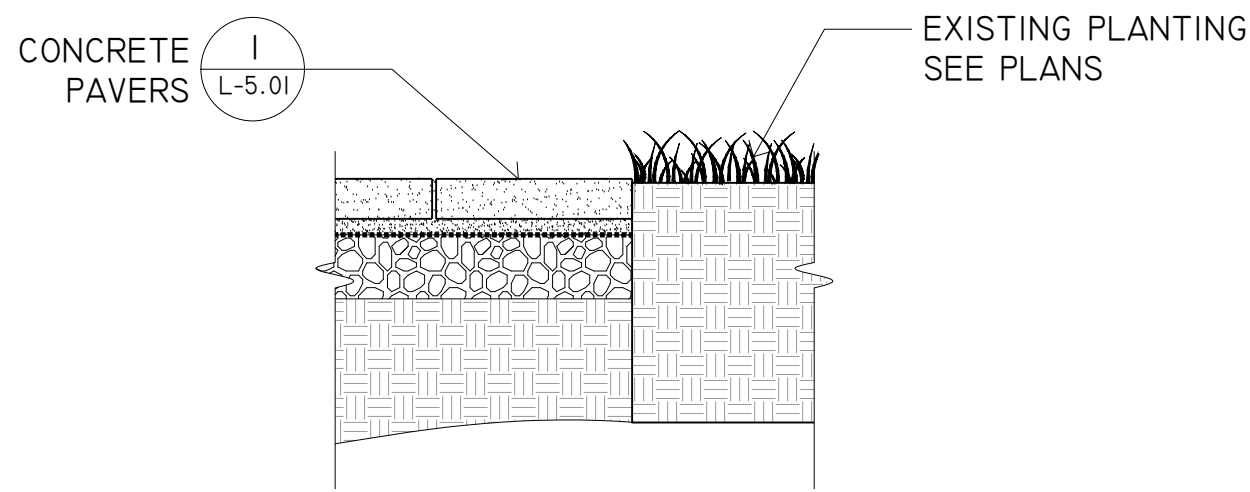


6 ADA CURB RAMP
2" = 1'-0"

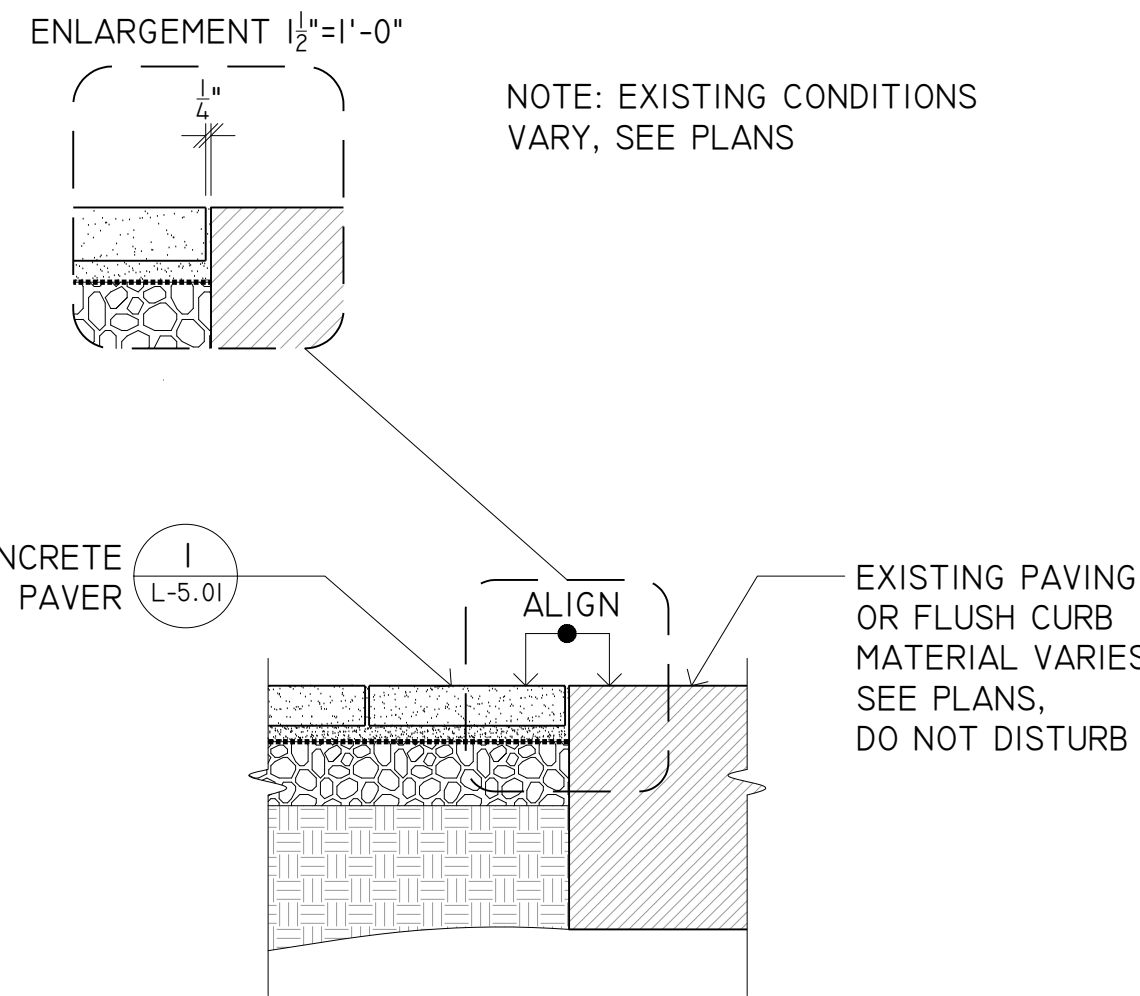
- NOTES:
1. PROVIDE FULL-DEPTH EXPANSION JOINTS IN CONCRETE AT 30'-0" O.C. MAX AND/ OR BETWEEN ANY FIXED STRUCTURE EXTENDING THE FULL DEPTH OF THE CIP CONCRETE WALKWAY.
 2. PROVIDE SCORED CONTROL JOINTS IN CONCRETE AT 10'-0" O.C. MAX.
 3. ALL MATERIALS AND CONSTRUCTION METHODS USED ARE TO CONFORM TO SECTION 4.13 OF THE N.Y.C. DEPT. OF TRANSPORTATION (DOT) STANDARD HIGHWAY SPECS.
 4. WELDED WIRE FABRIC, WHERE SPECIFIED, SHALL BE ASTM DESIGNATION, A-185 AUG. #8/8 AT 6" X 6" SPACING AND CONFORM TO SECTION # 2.25 OF THE NYC DOT STANDARD HIGHWAY SPEC.



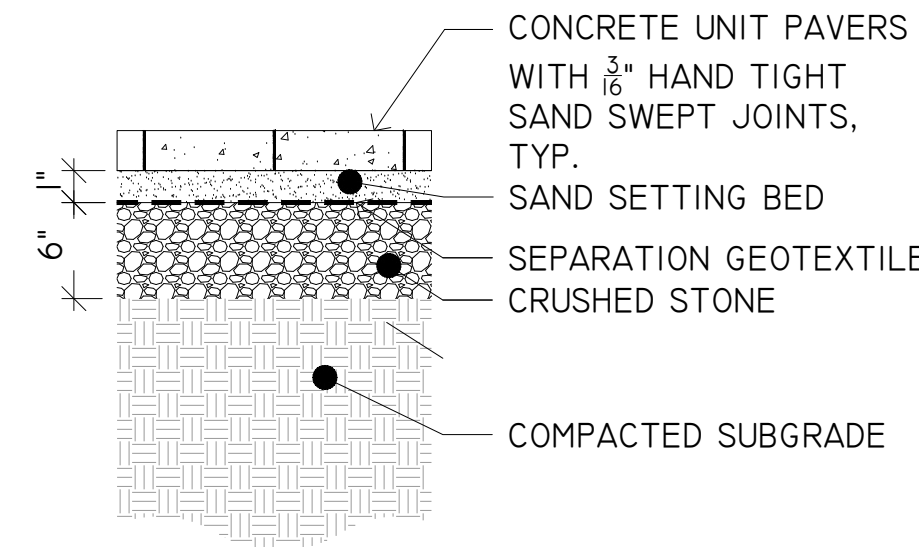
5 CONCRETE SIDEWALK - ROW (NYCDOT H-1045)
1" = 1'-0"



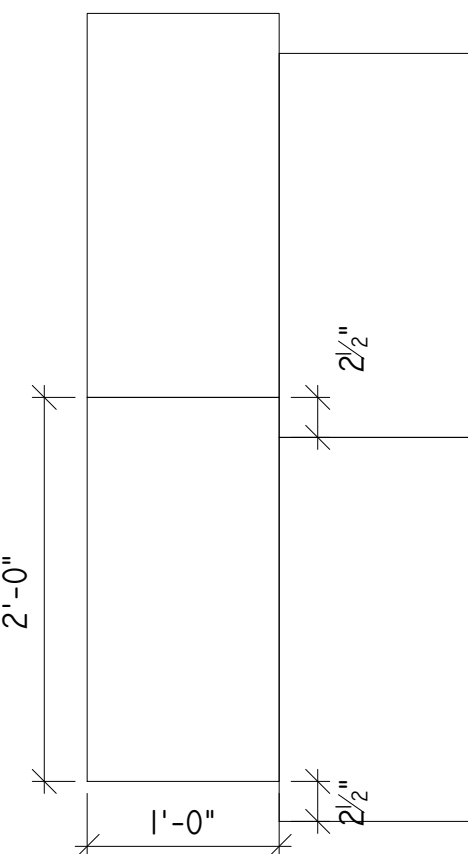
4 CONCRETE PAVERS AT EXISTING PLANTING
1" = 1'-0"



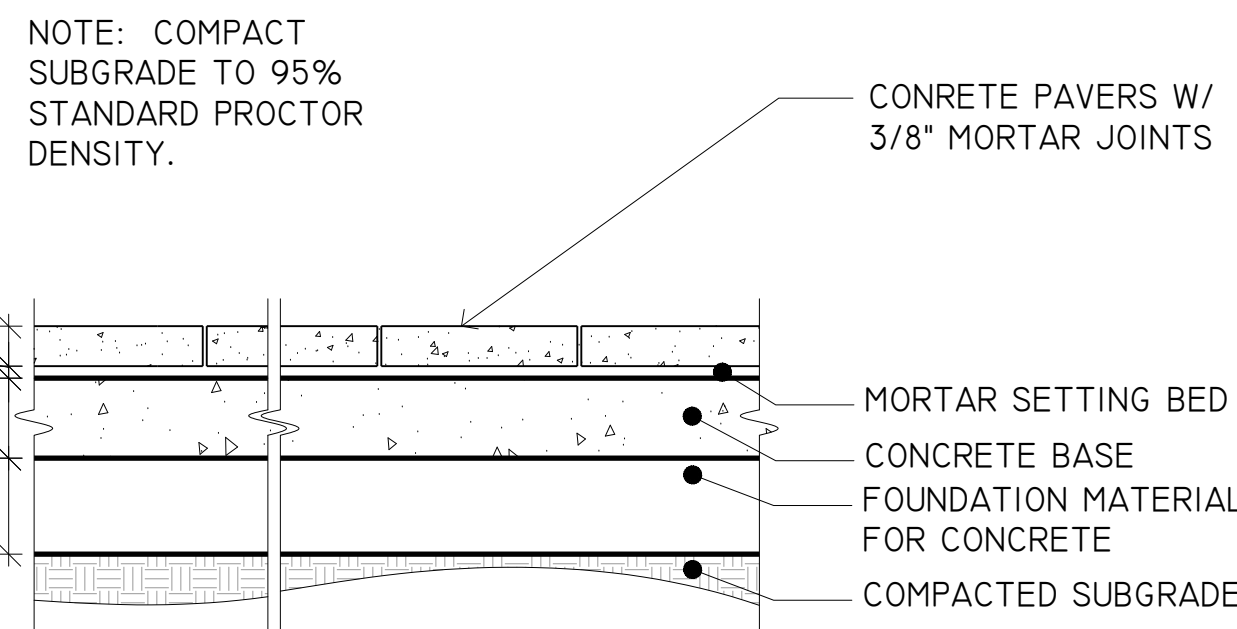
3 CONCRETE PAVER AT EXISTING PAVEMENT AND FLUSH CURBS
1" = 1'-0"



2 CONCRETE PAVER ON CRUSHED STONE BASE
1" = 1'-0"



A PLAN VIEW
1" = 1'-0"



1 CONCRETE PAVERS ON CONCRETE BASE
1" = 1'-0"

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proposed, or for other related, related or unrelated, in whole or part, or for any other purpose or
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No.	Description	Date
1	Bid Set	05-19-2021

Sheet Title:

PLANTING DETAILS

Project Number: 18275 Sheet Number: 18275

Drawn By: X Issue Date: 05-19-2021

L-5.02

TREE IMPACT MITIGATION NOTES:

1. ALL TREE PROTECTION MEASURES MUST BE IN PLACE PRIOR TO THE
START OF WORK, INCLUDING DEMOLITION.

2. NO ROOTS OVER ONE (1) INCH DIAMETER SHOULD BE SHAVED OR CUT
WITHOUT THE WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE. IF
SMALL ROOTS MUST BE CUT THIS SHOULD BE DONE WITH A SHARP, CLEAN
IMPLEMENT TO LEAVE A CLEAN FINISH. USE OF HEAVY EQUIPMENT SUCH
AS A BACKHOE TO CUT ROOTS IS PROHIBITED.

3. ALL CONTACT BETWEEN EQUIPMENT AND OVERHEAD TREE LIMBS
SHOULD BE AVOIDED. BENDING OR BREAKAGE OF LIMBS IS PROHIBITED. IF
CLEARANCE PRUNING IS PROPOSED, IT SHALL NOT TAKE PLACE WITHOUT
THE WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE, AND SHALL
ONLY BE PERFORMED WITH PROFESSIONAL EQUIPMENT AS PER THE
OWNER'S STANDARDS AND SPECIFICATIONS FOR SUCH WORK. NO TREES
SHALL BE PRUNED OR REMOVED WITHOUT THE WRITTEN PERMISSION OF
THE OWNER. TREE WORK IS TO BE PERFORMED BY AN ARBORIST HOLDING
CERTIFICATION FROM THE INTERNATIONAL SOCIETY OF ARBORICULTURE
(ISA). THE OWNER'S REPRESENTATIVE IS TO RECEIVE NOTIFICATION 48
HOURS BEFORE ANY TREE WORK IS TO BEGIN.

4. UNDER NO CIRCUMSTANCES SHOULD SCAFFOLDING SUPPORTS,
EQUIPMENT, AND MATERIALS BE STOCKPILED WITHIN THE FENCED AREAS
OR WITHIN ANY OF THE EXISTING TREE'S CRITICAL ROOT ZONES.

5. NO CONTAMINANTS OR WASTEWATER FROM CONSTRUCTION ACTIVITIES
SHOULD BE DISPOSED OF WITHIN OR AROUND PROTECTED AREAS.

6. NO VEHICLE SHALL BE PARKED WITHIN OR DRIVEN INTO THE FENCED
AREAS.

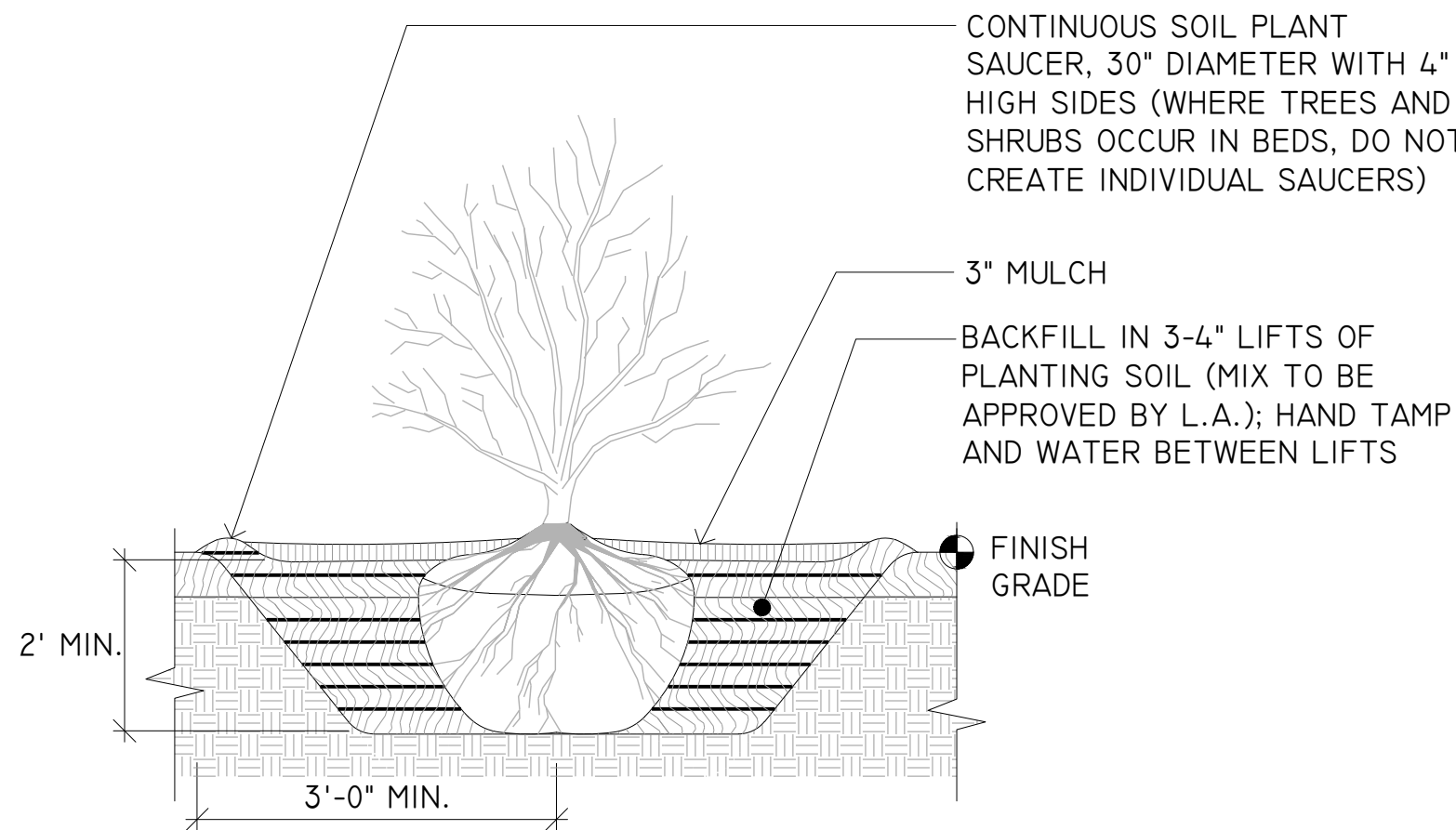
7. ALL GRADE CHANGES WITHIN THE TREE PROTECTION AREAS SHOULD BE
AVOIDED. NO ENCROACHMENT OF THE CRITICAL ROOT ZONE (CRZ) SHALL
OCCUR WITHOUT THE WRITTEN PERMISSION OF THE OWNER'S
REPRESENTATIVE, AND WITHOUT THE ON-SITE PRESENCE OF THE OWNER'S
REPRESENTATIVE OR AN APPROVED ARBORIST.

8. EXTREME CARE MUST BE EXERCISED IN REMOVALS WITHIN OR NEXT TO
THE CRZ, LIFTING RATHER THAN DRAGGING PAVING PIECES. TOOLS AND
EQUIPMENT FOR THIS ACTIVITY SHALL BE APPROVED BY THE OWNER'S
REPRESENTATIVE PRIOR TO THE START OF EXCAVATION.

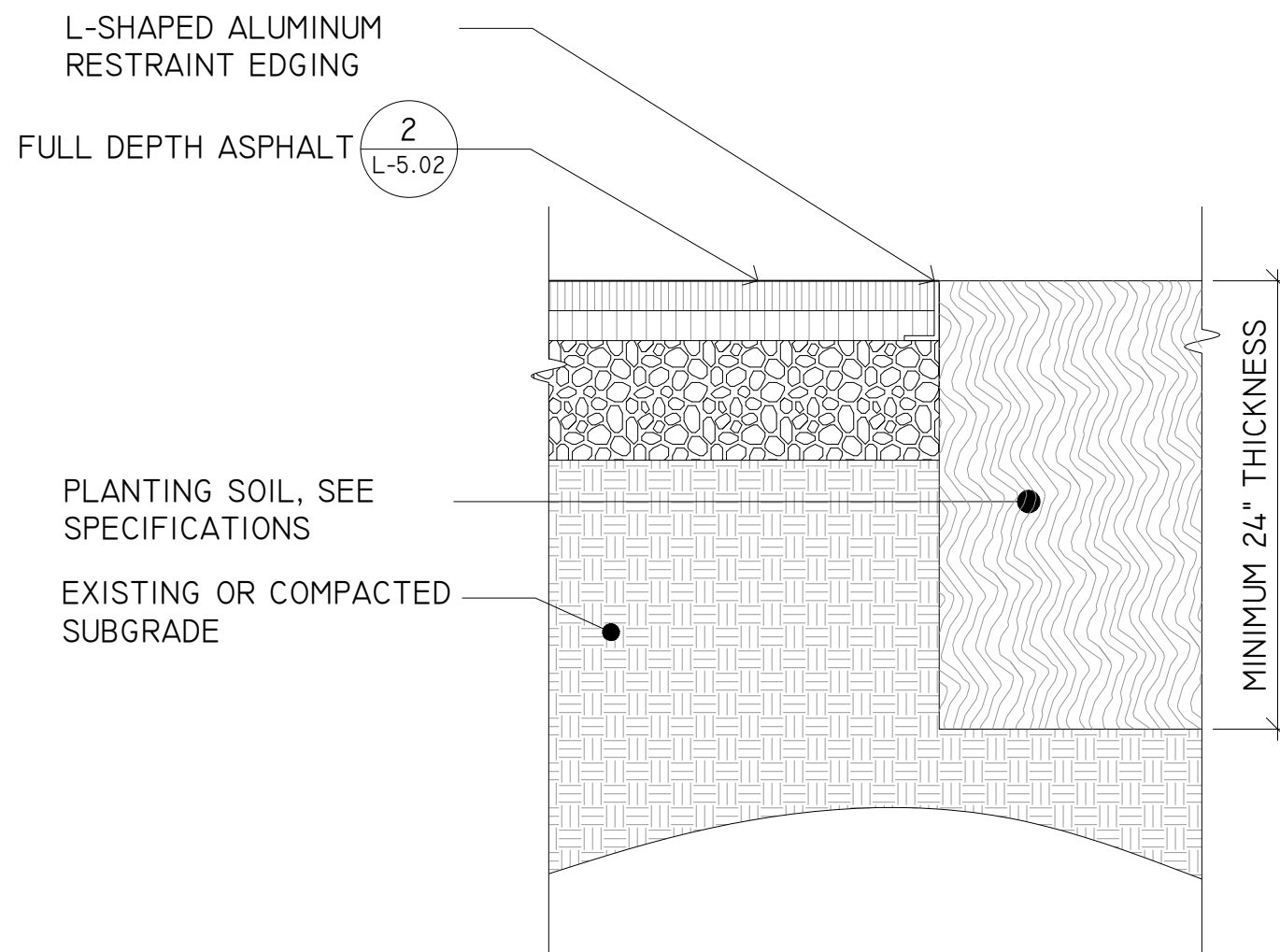
9. ANY EXCAVATION WITHIN THE CRZ OR ELSEWHERE ON THE SITE SHALL
BE DONE BY HAND OR PNEUMATIC EXCAVATION AS INDICATED ON
DRAWINGS. TRENCHING SHALL NOT OCCUR WITHIN THE CRZ UNLESS
ABSOLUTELY NECESSARY AND WITHOUT PRIOR AGREEMENT OF THE
OWNER'S REPRESENTATIVE.

10. WHERE SUCH EXCAVATION DOES OCCUR FOR THE REMOVAL OF EXISTING
FEATURES OR THE INSTALLATION OF NEW WORK, THE EXCAVATED AREA
SHALL BE BACKFILLED IMMEDIATELY. EXPOSED ROOTS SHALL BE COVERED
WITH BURLAP OR OTHER APPROVED MATERIAL, AND KEPT CONSTANTLY
MOIST. BURLAP SHALL BE CHECKED A MINIMUM OF TWO (2) TIMES A DAY,
ONCE IN THE MORNING AND ONCE IN THE AFTERNOON IN ORDER TO
MAINTAIN APPROPRIATE LEVELS OF MOISTURE, UNTIL BACKFILL IS
COMPLETE. IF DIRECTED, SOAKER HOSES SHALL BE INSTALLED TO
FACILITATE PROPERLY MOIST CONDITIONS OF EXCAVATED AREAS.

II. ANY REMOVAL OF SOIL WITHIN THE CRZ SHALL BE PERFORMED UNDER
THE SUPERVISION OF A CONSULTING ARBORIST.



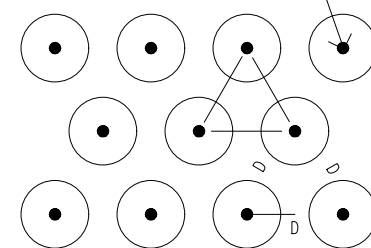
4 SHRUB PLANTING
NTS



3 PLANT BED
1'±1'-0"

PLAN

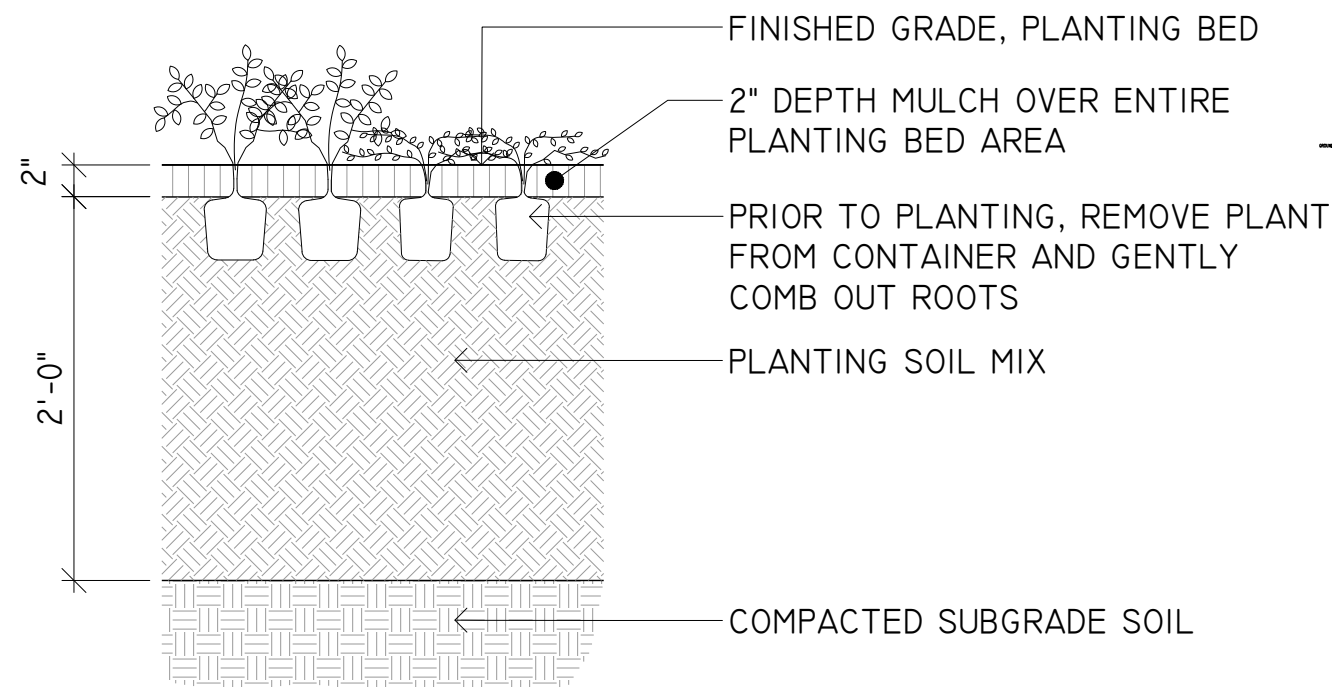
PLANT CENTER, TYP



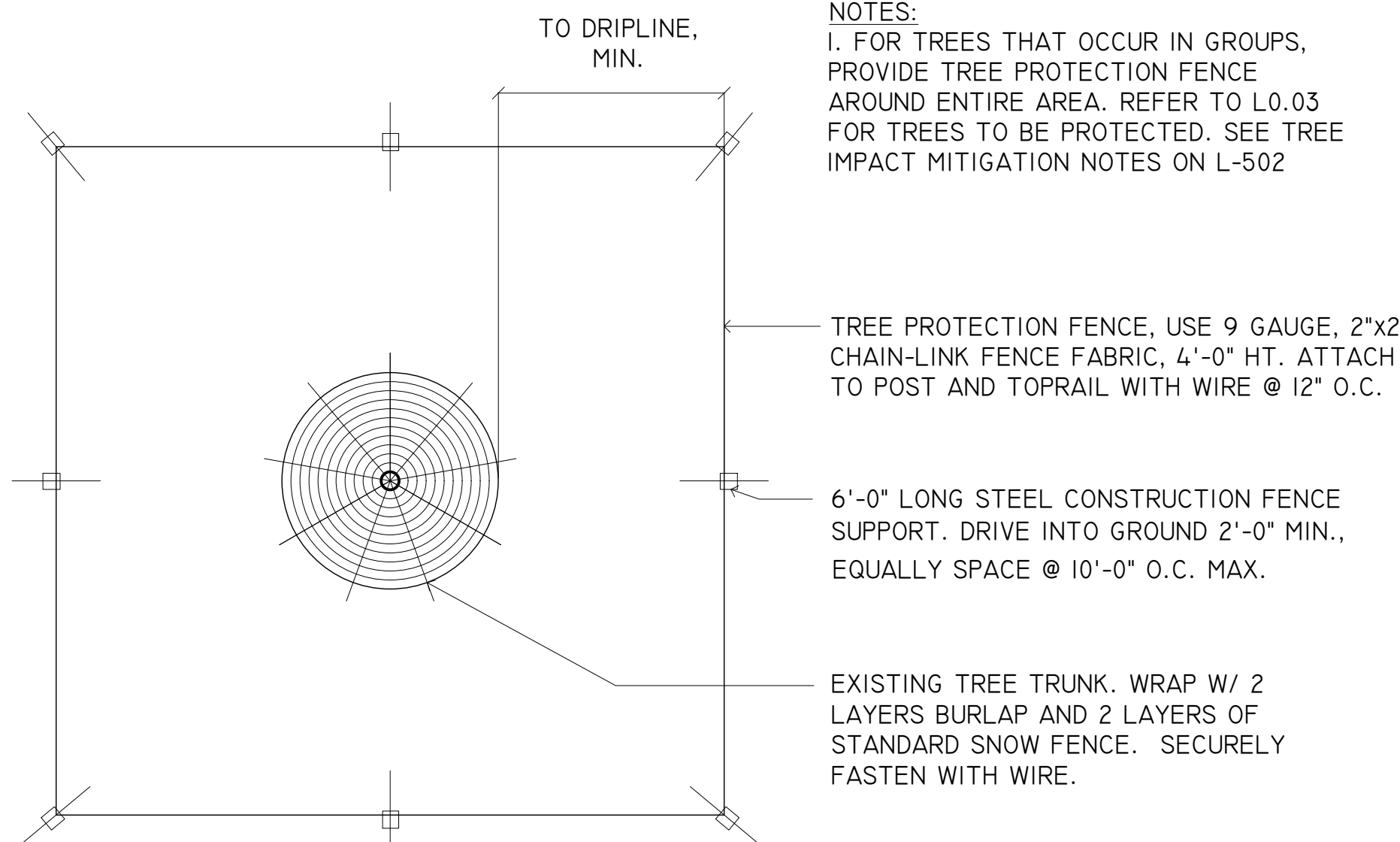
NOTE:

- 1) D = TYPICAL ON CENTER (O.C.)
SPACING AS INDICATED IN
PLANTING SCHEDULE
- 2) REMOVE ALL WIRE, PLASTIC,
TAGS OR SYNTHETIC MATERIAL
FROM PLANTS PRIOR TO
PLANTING

SECTION



2 GROUNDCOVER PLANTING DETAIL, TYP
NTS



NOTES:

1. FOR TREES THAT OCCUR IN GROUPS,
PROVIDE TREE PROTECTION FENCE
AROUND ENTIRE AREA. REFER TO L-0.03
FOR TREES TO BE PROTECTED. SEE TREE
IMPACT MITIGATION NOTES ON L-5.02

TREE PROTECTION FENCE, USE 9 GAUGE, 2"x2"
CHAIN-LINK FENCE FABRIC, 4'-0" HT. ATTACH
TO POST AND TOPRAIL WITH WIRE @ 12" O.C.

6'-0" LONG STEEL CONSTRUCTION FENCE
SUPPORT. DRIVE INTO GROUND 2'-0" MIN.,
EQUALLY SPACE @ 10'-0" O.C. MAX.

EXISTING TREE TRUNK. WRAP W/ 2
LAYERS BURLAP AND 2 LAYERS OF
STANDARD SNOW FENCE. SECURELY
FASTEN WITH WIRE.

1 TREE PROTECTION
NTS

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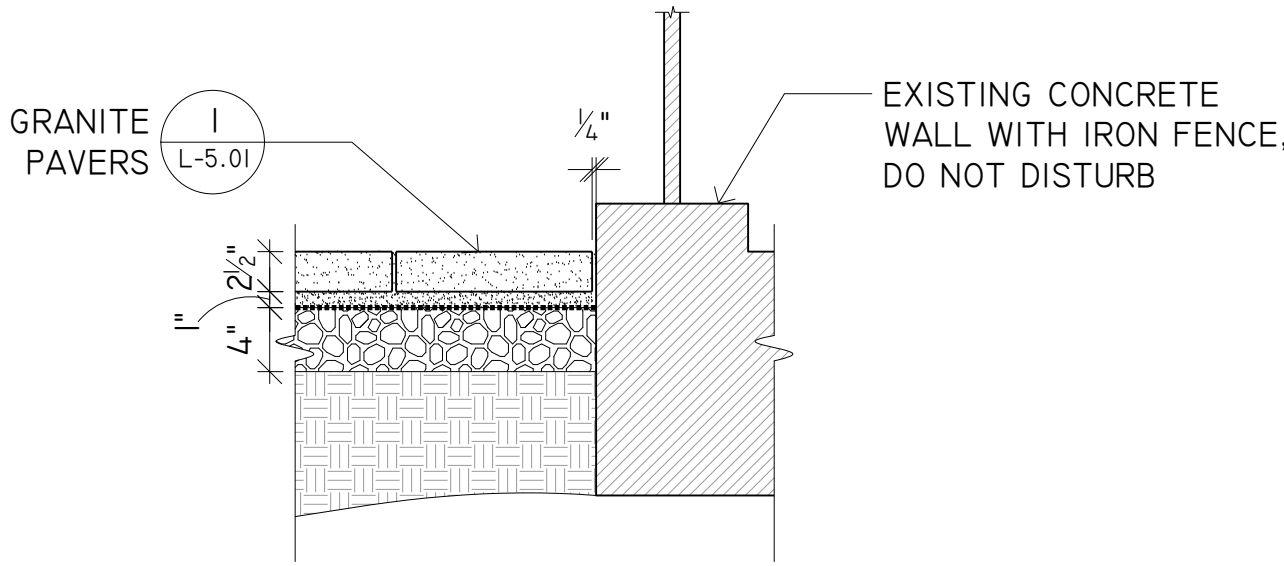
No.	Description	Date
1	Bid Set	05-19-2021

Sheet Title:
SITE DETAILS I

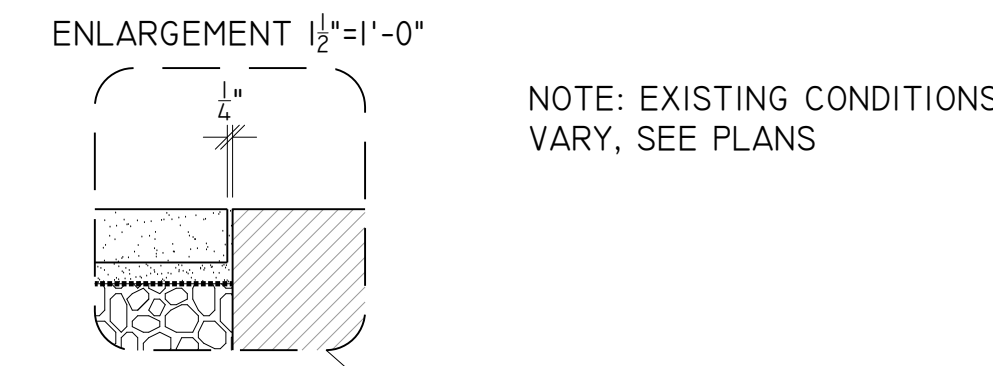
Project Number: 18275
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GRANITE PAVER
ADD-ALTERNATE

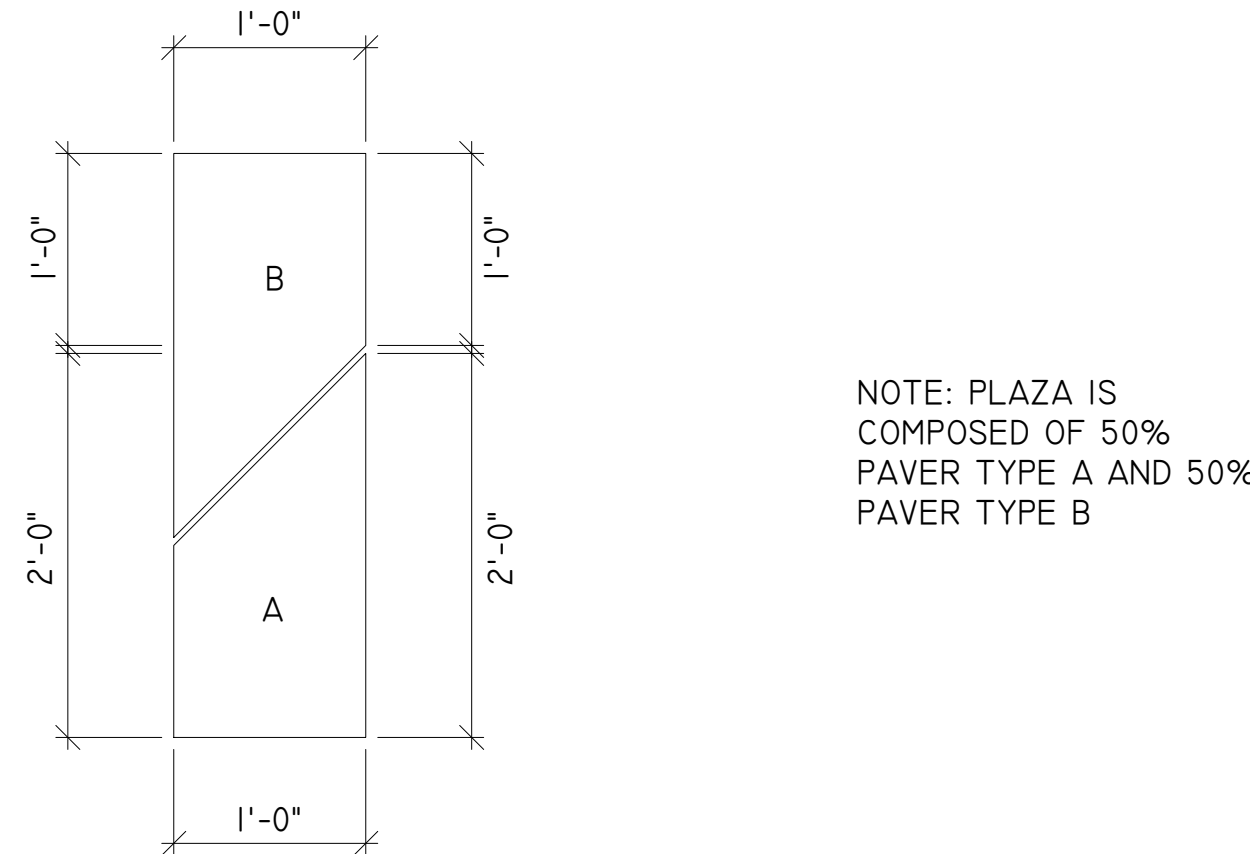
NOTE: REFER TO SHEET L-I.01
FOR AREA OF UNIT PAVERS



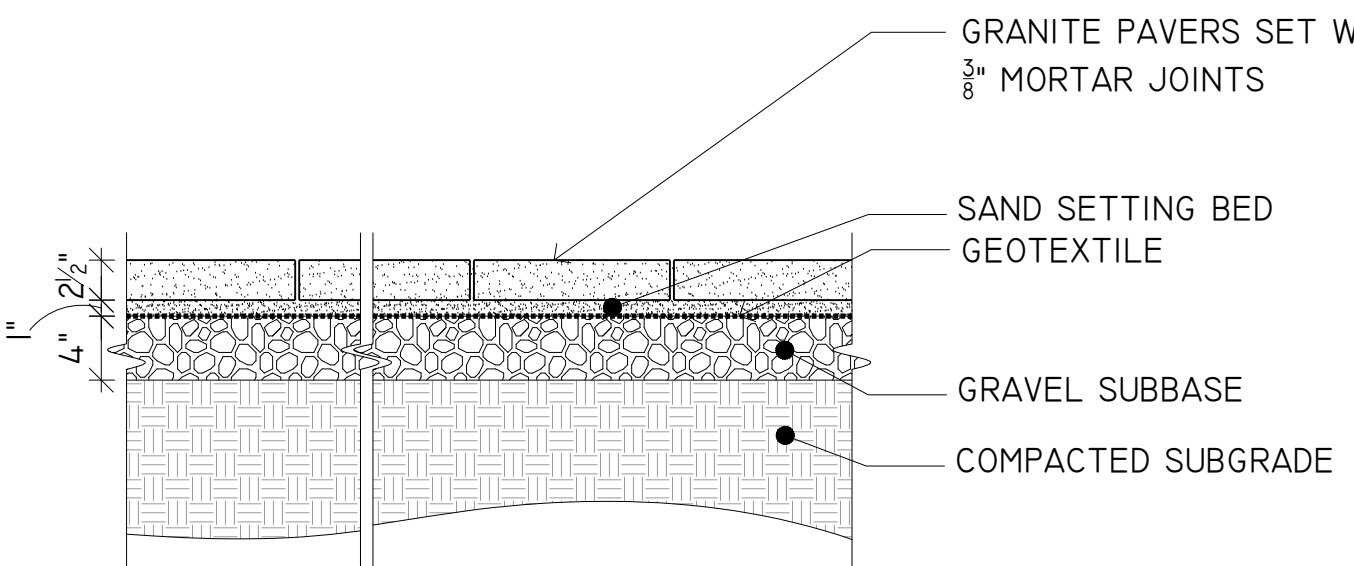
3 GRANITE PAVERS AT EXISTING WALL WITH IRON FENCE
1" = 1'-0"



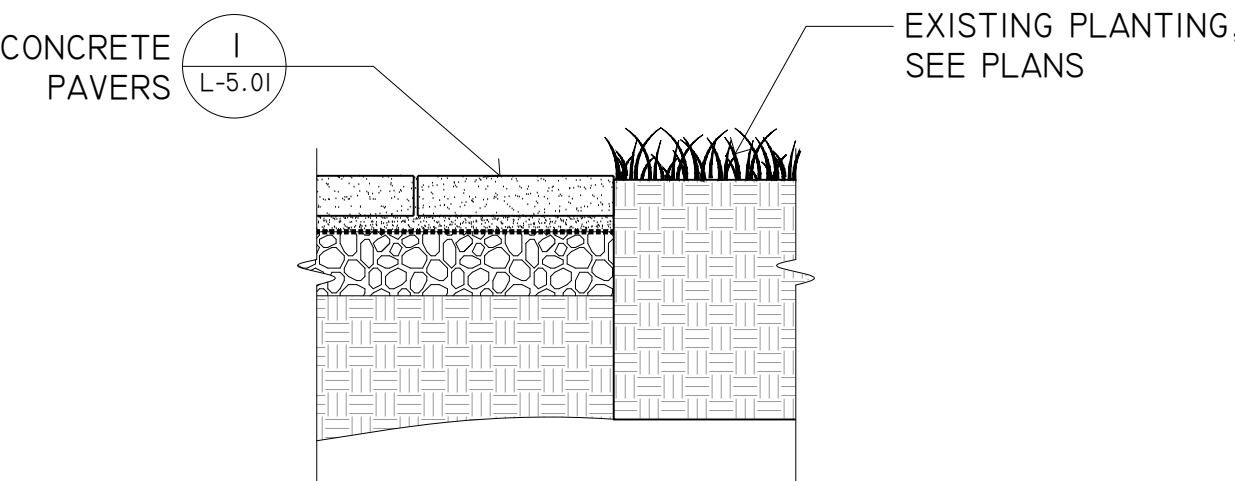
2 GRANITE PAVER AT EXISTING PAVEMENT AND FLUSH CURBS
1" = 1'-0"



A PLAN VIEW
1" = 1'-0"



I GRANITE PAVERS
1" = 1'-0"



4 GRANITE PAVERS AT EXISTING PLANTING
1" = 1'-0"

DOB Seal: